



## Capitol-Medical Center Improvement and Zoning Commission

Hybrid Special Meeting

Will Rogers Building, Conference Rm. 214/216

2401 N. Lincoln Blvd., Oklahoma City, OK 73105

WebEx Platform

Friday, April 23, 2021, 8:15 a.m.

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### AGENDA

This hybrid special board meeting is being held consistent with the amendments to the Open Meeting Act, 25 O.S. 2011, § 301 et seq, signed into law by Governor Stitt on Wednesday, February 10, 2021. SB1031, 2021 O.S.L. 1, § 1

#### **Link to access meeting:**

<HTTPS://OMES.WEBEX.COM/OMES/ONSTAGE/G.PHP?MTID=E6A7A891A7A147B28CCA3B991A0418445;>

**Event Password:** CMIZC

**Call-in information:** +1-415-655-0001

**Access code:** 187 185 2033

The Notice of this virtual Special Meeting was filed with the Secretary of State's Office on March 31, 2021. Notice/final agenda was posted on April 16, 2021, at 12:00 p.m., at the West entrance of the Will Rogers Building at 2401 N. Lincoln Blvd., Oklahoma City, and on the OMES/Capitol-Medical Center Improvement and Zoning web site.

<https://www.sos.ok.gov/meetings/notices/000050/0524172103311635.htm>

The Commission may discuss, vote to approve, vote to disapprove, vote to table, change the sequence of any agenda item, or vote to strike or not discuss any agenda item.

The following Commission Members have the option to participate in person or remotely using the WebEx videoconference platform:

- Tiana Douglas, President Pro Tempore Appointee [*appearing remotely*]
- Hillary Farrell, President Pro Tempore Appointee [*appearing remotely*]
- Jeremiah Jordan, Governor Appointee [*appearing remotely*]
- Anderson Dark, Governor Appointee [*appearing remotely*]
- Brian Downs, Speaker Appointee [*appearing remotely*]
- Paul Manzelli, President of The University of Oklahoma Designee [*appearing remotely*]
- Ken Phillips, Director of Transportation Designee [*appearing remotely*]
- Janis Powers, Chairman of the Planning Commission of Oklahoma City Designee [*appearing remotely*]
- Dan Ross, Chairman [*appearing in person*]

Next Meeting: Friday, May 28, 2021, at 8:15 a.m.

If any of the above-listed Commission members loses videoconference communication during the meeting, he or she will attempt to rejoin and participate by teleconference.

In the event electronic communications are lost or compromised during the meeting, the Capitol-Medical Center Improvement and Zoning Commission staff will attempt to restore communications for a maximum of 15 minutes. If unable to restore communications the meeting will be adjourned.

### AGENDA ITEMS

A. Roll Call

B. Minutes

1. Approval, disapproval and/or amendment of the minutes of the March 26, 2021 meeting.

C. Land Use and Development Applications:

1. Discussion and possible action regarding **BP-20-21-42**, request by Garry Adams, Extreme Builders, for a building permit for construction of a single family dwelling at **940 NE 30<sup>th</sup> Street** on property described as Lots 3 and 4, Block 1, Powell Subdivision of Block 1, Alta Vista Addition to Oklahoma City.

*Note: Items C.2 through C.5 all pertain to the same property and development. These items will be presented together. However, each item requires a separate motion and vote.*

2. Discussion and possible action regarding **D-20-21-4**, request by Mark Grubbs, Grubbs Consulting, LLC, for a building permit for demolition of all existing structures at **950 NE 23<sup>rd</sup> Street** in Oklahoma City.
3. Discussion and possible action regarding **V-20-21-4**, request by Mark Grubbs, Grubbs Consulting, LLC, for variances from strict application of specified zoning rules as they pertain to the proposed development of a filling station with convenience store and restaurant in the *CN Neighborhood Commercial District* at **950 NE 23<sup>rd</sup> Street** in Oklahoma City:
  - a. Variance from OAC 120: 10-3-24(b)(4) to permit propane fuel and packaged ice to be stored and displayed for sale outside of the building.
  - b. Variance from OAC 120: 10-7-11(a)(32) to permit the minimum parking requirement for a “retail/commercial establishment” to be calculated at the rate of one parking space per 200 square feet of net floor area.
  - c. Variance from OAC 120: 10-7-12(1) to permit driveway widths of 35 feet for the driveway on NE 23<sup>rd</sup> Street and for one of the two driveways on North Kelley Avenue.
  - d. Variance from OAC 120: 10-7-10(2) to permit parking spaces in the rear yard setback area.
  - e. Variance from OAC 120: 10-5-4.1(8) to permit a trash enclosure in the side yard setback area.
4. Discussion and possible action regarding **BP-20-21-45**, request by Mark Grubbs,



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- 
- Grubbs Consulting, LLC, for a building permit for construction of a filling station with convenience store and restaurant in the *CN Neighborhood Commercial District* at **950 NE 23rd Street** in Oklahoma City.
5. Discussion and possible action regarding **BP-20-21-46**, request by Mark Grubbs, Grubbs Consulting, LLC, for a building permit for alterations to an existing pylon sign and for installation of wall signs and fuel island canopy signs at **950 NE 23rd Street** in Oklahoma City.
- D. Miscellaneous:
1. Discussion and possible action to appoint Guy Parkhurst, a resident of the Capitol-Lincoln Terrace Historic District, to fill a vacancy on the Citizens' Advisory Committee.
  2. Discussion and possible action to appoint Camal Pennington, a resident of the Lincoln Terrace East Historic District, to fill the unexpired term of Sharon Astrin on the Historical Preservation and Landmark Board of Review.
  3. Discussion and possible action to reappoint Carla Splaingard to serve a three year term as a real estate agent on the Historical Preservation and Landmark Board of Review.
  4. Consideration and possible action to enter into an agreement with the City of Oklahoma City to provide zoning code enforcement on behalf of the Capitol-Medical Center Improvement and Zoning Commission for Fiscal Year (FY 22), July 1, 2021 through June 30, 2022, cost \$12,000.
- E. Reports and possible discussion from Commissioners or Director.
- F. Adjournment.

### Public Comment:

The Chairman will recognize comments from the public limited to only those subject matters covered in the current meeting agenda and further limited to two minutes per person. The Commission Chairperson reserves and retains the right to interrupt, terminate, or postpone public comment as necessary to effectuate the management of the public meeting.

To sign up to give oral comments, call 405-522-0440 or email [beverly.hicks@omes.ok.gov](mailto:beverly.hicks@omes.ok.gov) no later than 8:15 a.m., April 21, 2021. Materials provided to members of the Commission or shared electronically between members of the Commission may be accessed here:

Next Meeting: Friday, May 28, 2021, at 8:15 a.m.

<https://oklahoma.gov/omes/boards-commissions/capitol-medical-center-improvement-and-zoning-commission.html>

**Minutes**  
**Capitol-Medical Center Improvement and Zoning Commission**  
**Virtual Special Meeting/ WebEx**  
**Mar. 26, 2021, 8:15 a.m.**

**UNOFFICIAL**

A meeting notice was filed with the Secretary of State and an agenda posted in accordance with the Open Meeting Act.

**MEMBERS PRESENT:** Anderson Dark  
Tiana Douglas  
Brian Downs  
Hillary Farrell  
Jeremiah Jordan  
Janis Powers  
Dan Ross

**MEMBERS ABSENT:** Kirkland Hall  
Paul Manzelli  
Ken Phillips

**STAFF/GUESTS:** Casey Jones, AICP, OMES, Planner  
Beverly Hicks, OMES, Planning/Administrative Coordinator  
Karl Kramer, OAG  
Nash Thomas, Applicant representative  
David Box, Applicant representative  
Spencer Wilson, Applicant representative  
Brian Fitzsimmons, Applicant representative  
Donna Moore, Public  
Audrey Jones, Public

**A. Roll Call:**

Chairman Dan Ross called the meeting to order at 8:27 a.m. A roll call was taken and a quorum established. Mr. Ross was advised a meeting notice was filed with the Secretary of State and agenda posted in accordance with the amendments to the Open Meeting Act made by enrolled Senate Bill 1031 (2021).

**B. Minutes:**

**1. Approval, disapproval and/or amendment of the minutes of the January 22, 2021 virtual special meeting:**

Anderson Dark moved to approve the meeting minutes of January. Hillary Farrell seconded the motion. The following votes were recorded and the motion passed:

Mr. Dark, yes; Ms. Douglas, yes; Mr. Downs, abstain; Ms. Farrell, yes; Mr. Jordan, yes;  
Ms. Powers, yes; Mr. Ross, yes.

**C. Land Use and Development Applications:**

**1. Discussion and possible action regarding V-20-21-1 and BP-20-21-18, requests by David M. Box, Williams, Box, Forshee & Bullard, representing Timbercraft Homes LLC, the owner, for a variance from the 30-percent maximum lot coverage requirement in the RD-2 District and a building permit for construction of a 450-square-foot detached garage at 829 NE 16<sup>th</sup> Street in the Lincoln Terrace East Historic District of Oklahoma City:**

The Historical Preservation and Landmark Board of Review reviewed this proposal on March 4, 2021, and granted certificate of appropriateness for the proposed work with the condition that two single-car vehicle doors be installed on the front of the garage (CA-20-21-14).

On March 11, 2021, the Citizens' Advisory Committee reviewed and recommended approval of the variance and building permit.

Staff recommended to approve the variance and building permit with the following findings:

- a. The proposed garage size, height, placement, and setbacks are consistent with the character of the neighborhood and compatible with surrounding areas.
- b. The proposed garage is in compliance with the recommended size limit of 450 square feet for garages in the Historic Preservation District.
- c. The proposed development will have no detrimental impact on adjacent properties.
- d. The proposed development is compatible with the Master Plan land use designation for the property, which is Mixed Use – Residential/Institutional.
- e. The proposed development is in keeping with the spirit and intent of the zoning rules.

Notice was mailed to the residents within a 300' radius and published in the Journal Record on March 16, 2021 for the public hearing.

Public comment was made by Reverend Donna Moore and Ms. Audrey Jones in support the applicant's project. Both ladies are members of the Citizens' Advisory Committee and live within the district.

Hillary Farrell moved to approve the variance and building permit. Anderson Dark seconded the motion. The following votes were recorded and the motion passed:

Mr. Dark, yes; Ms. Douglas, yes; Mr. Downs, yes; Ms. Farrell, yes; Mr. Jordan, yes; Ms. Powers, yes; Mr. Ross, yes.

**2. Discussion and possible action regarding BP-20-21-32, request by Spencer Wilson, Fitzsimmons Architects, representing 701 Culbertson LC, the owner, for a building permit for installation of two monument signs (one primary identification sign and one directional sign) on the property at 701 Culbertson Drive in Oklahoma City:**

The Historical Preservation and Landmark Board of Review granted a certificate of appropriateness for the proposed signs on March 4, 2021 (CA-20-21-16).

Staff recommended to approve the building permit with the finding that the proposed work complies with applicable zoning rules.

Tiana Douglas moved to approve the building permit. Jeremiah Jordan seconded the motion. The following votes were recorded and the motion passed:

Mr. Dark, yes; Ms. Douglas, yes; Mr. Downs, yes; Ms. Farrell, yes; Mr. Jordan, yes; Ms. Powers, yes; Mr. Ross, yes.

**3. Discussion and possible action regarding V-20-21-3, request by Spencer Wilson, Fitzsimmons Architects, representing 701 Culbertson LC, the owner, for a variance from the siting standards for trash enclosures to allow for installation of a trash enclosure to the south of the existing building as indicated on the submitted application and plans for 701 Culbertson Drive in Oklahoma City.**

The Historical Preservation and Landmark Board of Review reviewed this proposal on March 4, 2021, and granted a certificate of appropriateness for the proposed work as submitted (CA-20-21-17).

Staff recommended to approve the variance with the following findings:

- a. The location of the existing structure and the improvements on the property makes strict compliance with the zoning rules difficult and impractical and causes a hardship on the owner.
- b. The proposed trash enclosure's design, size, height, and placement are compatible with the existing building and surrounding buildings.
- c. The proposed work will have no detrimental impact on adjacent properties.
- d. The proposed work is compatible with the Master Plan land use designation for the property, which is Neighborhood Commercial.
- e. The proposed work is in keeping with the spirit and intent of the zoning rules.
- f. The proposed work will not adversely affect the integrity and historic character of the district or the property.
- g. The proposed work will not damage any historic materials or character-defining features.
- h. The proposed work, if removed in the future, would not impair the essential form and integrity of the property and its environment.

Notice was mailed to the residents within a 300' radius and published in the Journal Record on March 16, 2021 for the public hearing.

Jeremiah Jordan moved to approve the variance. Anderson Dark seconded the motion. The following votes were recorded and the motion passed:

Mr. Dark, yes; Ms. Douglas, yes; Mr. Downs, yes; Ms. Farrell, yes; Mr. Jordan, yes; Ms. Powers, yes; Mr. Ross, yes.

D. **Miscellaneous:** None.

E. **Reports and possible discussion from Commissioners or Director:** None.

F. **Adjournment:**

There being no further business, Tiana Douglas made a motion to adjourn. Janis Powers seconded the motion. Seeing no opposition, the meeting adjourned at 8:56 a.m.





Case Number: BP-20-21-42

940 NE 30<sup>th</sup> Street (Vacant Lot)  
Existing Conditions – Looking South

Property Address: 940 NE 30<sup>th</sup> Street

Description: Lots 3 and 4, Block 1, Powell Subdivision of Block 1, Alta Vista Addition to Oklahoma City, excluding a plot of ground 15 feet by 15 feet located in the SE Corner of Lot 3

Owner: Extreme Homes LLC

Applicant: Garry Adams, Extreme Builders

**Items for Consideration:**

- 1. Building permit for construction of a single family dwelling on the property at 940 NE 30<sup>th</sup> Street.**



**Background:**

Zoning: RD-1, Single Family Residential District

Adjacent Zoning: North: R-1; City of Oklahoma City zoning jurisdiction  
South, East, and West: RD-1, Single Family Residential District

Current Use: Vacant lot (undeveloped)

Proposed Use: Single family dwelling (Permitted Use)

Surrounding Uses: North, South and West: Single family dwellings  
East: Vacant lot

Master Land Use Plan Designation: Single family residential

Lot Size: 6,275 square feet

**Issues and Considerations:**

The applicant proposes to construct a single family dwelling on the existing, vacant lot at 940 NE 30<sup>th</sup> Street. The proposed dwelling complies with applicable zoning rules. The dwelling will be a one-story structure with a footprint of 1,500 square feet. The dwelling will have 1,100 square feet of living area containing 3 bedrooms and 2 bathrooms. The dwelling will have an attached, two-car garage 400 square feet in size. A covered front porch and an uncovered rear concrete patio are proposed. The dwelling will have all brick exterior walls and composite architectural shingle roofing. A concrete driveway is proposed onto NE 30<sup>th</sup> Street as shown on the site plan.

**Applicable Zoning Rules:**

**OAC 120: 10-13-14. Building permit and plan review procedure.**

Construction of a new principal structure is subject to the Commission’s review and requires a building permit. According to applicable zoning rules, the Commission shall review all plans submitted including orientation and design of the proposed building and its use, and the texture and type of exterior materials to determine whether the character of the improvement is in harmony with and would not detract from

the character of the area in which the improvement is proposed to be located. If the Commission recommends changes in building or site plans, the changes and the reason for them will be submitted in writing to the applicant. No building permit shall be issued until the plans have been approved by the Commission.

**OAC 120: 10-3-20(b). Uses Permitted in the RD-1 District.** Property and buildings in an RD-1, Single Family Residential District, shall be used only for the following purposes:

**(1) Single-family detached dwelling.**

(2) Church.

(3) Park or playground, public school or an educational institution having a curriculum the same as ordinarily given in public schools, and having no rooms regularly used for housing and sleeping.

(4) Accessory buildings which are not a part of the main building, including a private garage or servant's quarters, when located not less than five (5) feet away from any side lot line, or accessory buildings which are part of the main buildings, including a private garage or servant's quarters.

(5) Home occupation in accordance with OAC 120:10-5-22.

(6) Temporary buildings for uses incident to construction work, which building shall be removed upon completion or abandonment of the construction work.

(7) Bulletin board or sign, not exceeding twelve (12) square feet in area appertaining to the lease, hire or sale of a building or premises, which board or sign shall be removed as soon as the premises are leased, hired or sold.

**OAC 120: 10-3-20(d). Height Regulations.** Except as hereinafter provided in 120:10-5-2.1, no building shall exceed two and one-half (2 1/2) stories or thirty-five (35) feet in height.

*The home will have one story and will be 19 feet in height.*

**OAC 120:10-5-3.1. Height regulations. (c) Plane of maximum height.**

This section establishes a plane of maximum height. Based on this rule, buildings on the subject property, 940 NE 30<sup>th</sup> Street, cannot exceed an elevation of 1,248 feet above sea level. The elevation of this property is approximately 1,206 feet above sea level, so the maximum building height at this property is 42 feet. However, the more restrictive height limit of 35 feet, as listed above, shall apply.

**OAC 120: 10-3-20(e). Area Regulations for the RD-1 District**

(2): A 5-foot yard is required on each side of a building. *The proposed dwelling has 5-foot side yards on the east and west.*

(3): The rear yard shall be 30 feet in depth or 20 percent of the depth of the lot, whichever is smaller (26 feet in this case). *The proposed rear yard depth is 35 feet, 10 inches.*

(5): Main and accessory buildings cannot cover more than 25 percent of the lot area of interior lots. *The footprint of the home will be 1,500 square feet, and it will occupy 23.9 percent of the lot, which leaves only 68 square feet for future accessory structures. No accessory structures are currently proposed.*

**Platted Setbacks and Easements:** The subdivision plat of record has a front yard building setback line of 25 feet and no easements shown. *The front exterior wall of the dwelling will be set back 45 feet, 6 inches, from the front property line.*

**OAC 120: 10-5-4.1. Area and open space**

- (2) **Minimum requirement.** In residential districts, a minimum of 25 percent of the lot shall be maintained as open space with no buildings, parking or impervious surfaces. *Approximately 65 percent of the lot is maintained as open space.*
- (5) **Location of detached private garage.** An attached or detached private garage which faces on a street shall not be located closer than 25 feet to the street easement line.  
*The dwelling will have an attached garage, which will be set back 45 feet, 6 inches from the street right-of-way line.*
- (7) **Accessory building location.** Accessory buildings which are not a part of the main building may be built in the rear yard within 10 feet of the rear lot line.  
*No accessory buildings are proposed.*

**OAC 120:10-7-10. General Requirements (Parking and Driveways).** The following requirements apply to all land used for driveways and off-street parking purposes in all zoning districts:

- (6) Parking is prohibited on all unpaved areas. The use of gravel for driveways and off-street lots is prohibited in all zoning districts. *A concrete driveway is proposed.*
- (7) All portions of land used for parking and driveway purposes shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use. *A concrete driveway is proposed.*
- (8) No parking shall be permitted in any yard areas except on driveways. Driveways shall be considered to serve garages, carports, and vehicle storage pads. *This requirement is met.*
- (9) The maximum driveway width in the front yard area for the RD-1 and RD-2 districts is 12 feet. The maximum driveway width in the front yard area for the HP district is 10 feet. The maximum driveway width in the front yard area for all other zoning districts is 24 feet. *The proposed driveway onto NE 30<sup>th</sup> Street will be 12 feet width from the street to the 25-foot front yard setback line; then the driveway will widen on the approach to the attached garage.*
- (10) Off-street parking areas shall not be permitted in the yards of property used for residential purposes. *This requirement is met.*
- (11) Carports or detached garages shall be permitted if located to the rear of the main residential structure. On corner lots, the front yard setback for the side street shall apply to the construction of a garage or carport. *This requirement is met.*

**OAC 120:10-7-11. Amount of off-street parking required**

- (17) **Dwelling:** 2 parking spaces per each unit in the main structure, 1 parking space per garage apartment, and 1.5 parking space for efficiency or studio apartment.  
*A minimum of two parking spaces are required. Two parking spaces are provided in the garage, and additional parking is provided on the driveway. This requirement is met.*

**Prior Actions:**

The Citizens' Advisory Committee reviewed the applicant's plans on April 8, 2021, and recommended approval of the building permit.

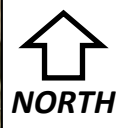
**Staff Recommendation:**

**Approve BP-20-21-42 with the finding that the proposed work complies with applicable zoning rules.**

**Attachments:**

Application and Supporting Documents

940 NE 30<sup>th</sup> Street, Aerial Photo, December 2020, Oklahoma County Assessor:

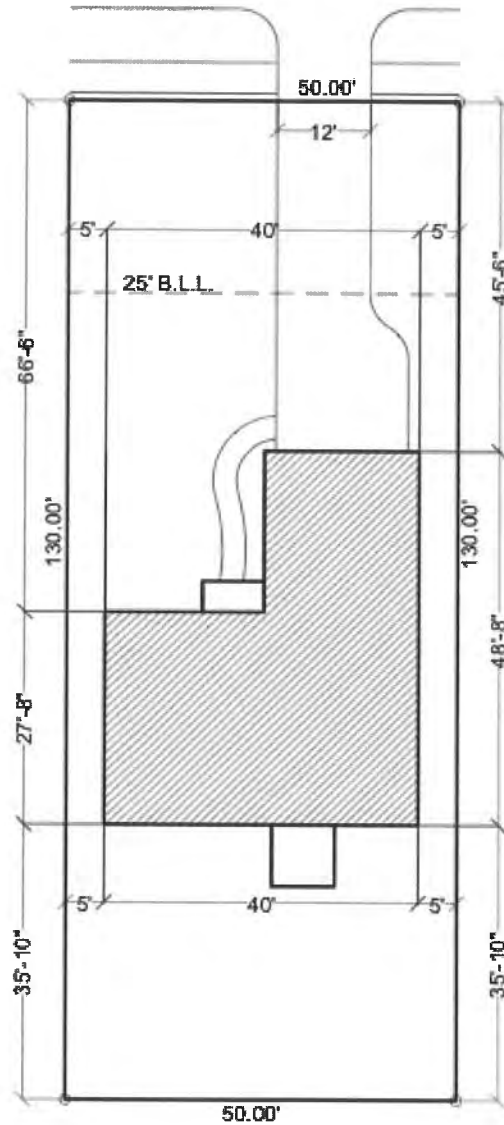




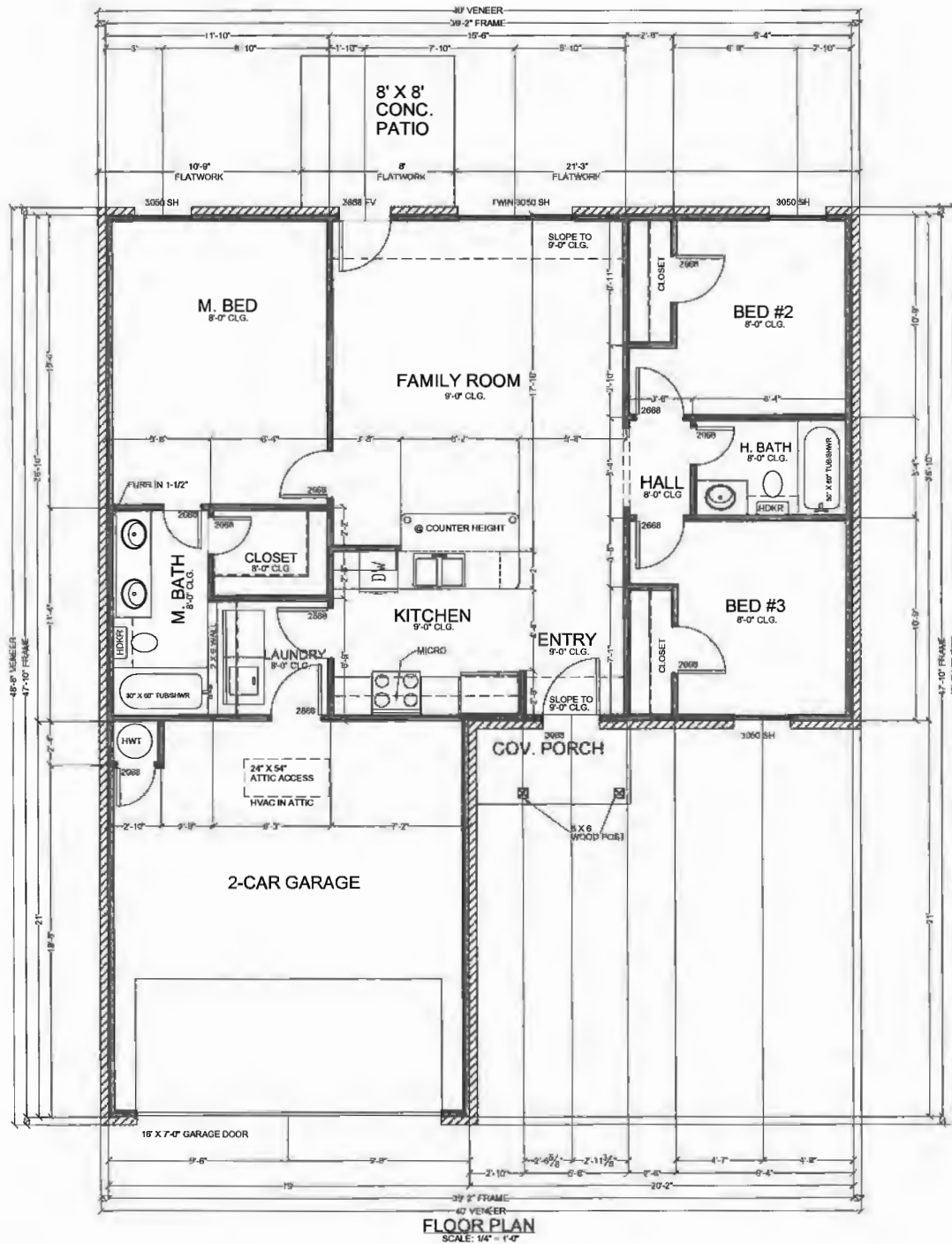


Revised Site Plan  
940 NE 30th Street

Received 3/30/2021  
OMES Capital Assets Management



<p><b>BUILDERS INVESTMENT GROUP, LLC</b> EXTREME HOMES 940 NE 30TH STREET LOTS 3 &amp; 4 POWELLS SUB ADDITION 1 OKLAHOMA CITY, OKLAHOMA COUNTY, OK.</p>	<p>SCALE: 1" = 20'</p> <p><b>1</b></p>
<p>SHANAHAN HOME DESIGN, LLC www.shdokc.com</p>	



FLOOR PLAN  
SCALE: 1/4" = 1'-0"

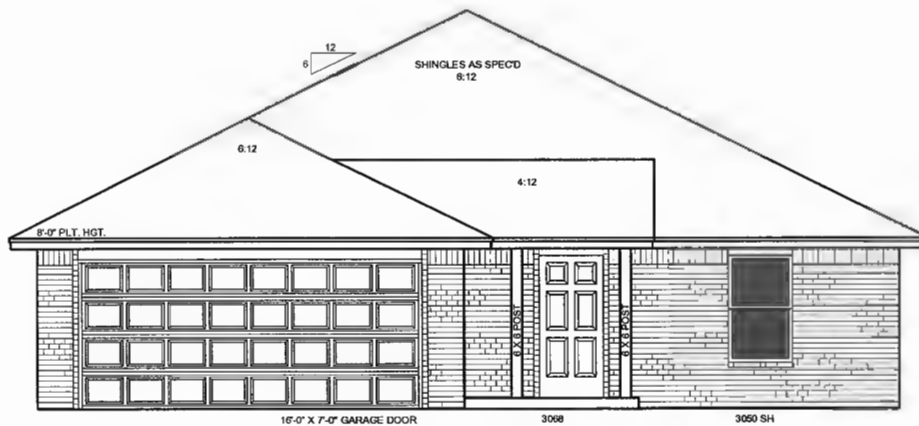
SHANAHAN  
HOME DESIGN  
**SHD**

BUILDERS INVESTMENT GROUP, LLC  
EXTREME HOMES  
940 NE 30TH STREET  
LOTS 3 & 4 POWELLS SUB ADDITION  
OKLAHOMA CITY, OKLAHOMA COUNTY, OK.

PLAN NAME:  
1099 A  
  
DATE:  
2/26/2021

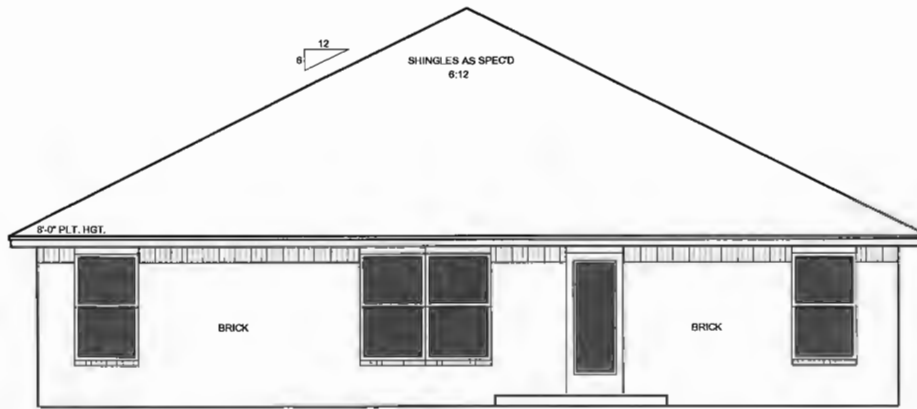
SCALE:  
1/4" = 1'-0"  
  
VENEER: 1099 SQFT  
FRAME: 1051 SQFT  
GARAGE: 399 SQFT  
COV. PORCH: 31 SQFT





**FRONT ELEVATION A**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

SHANAHAN  
HOME DESIGN  
**SHD**

**BUILDERS INVESTMENT GROUP, LLC**  
EXTREME HOMES  
940 NE 30TH STREET  
LOTS 3 & 4 POWELLS SUB ADDITION  
OKLAHOMA CITY, OKLAHOMA COUNTY, OK.

PLAN NAME:

1099 A

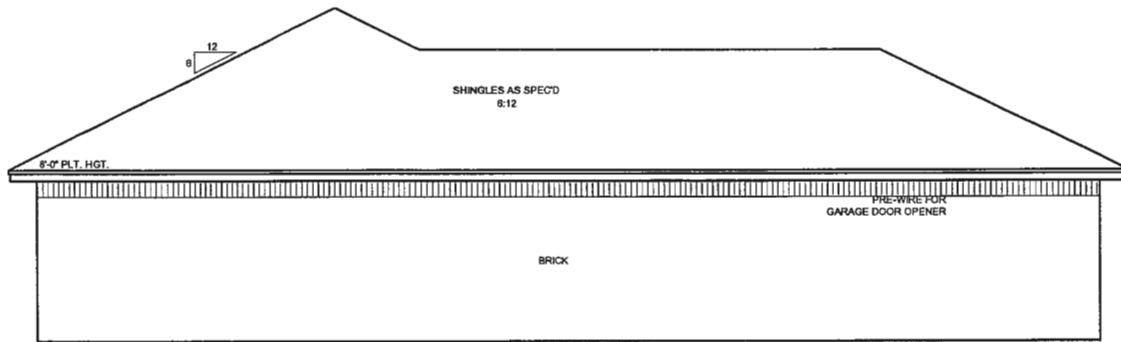
DATE:

2/26/2021

SCALE:

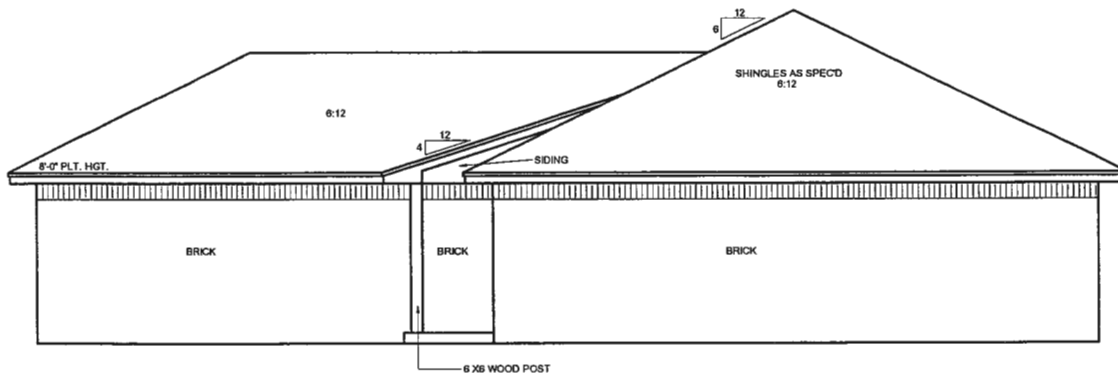
1/4" = 1'-0"

VENEER: 1099 SQFT  
FRAME: 1051 SQFT  
GARAGE: 399 SQFT  
COV. PORCH: 31 SQFT



**LEFT ELEVATION**

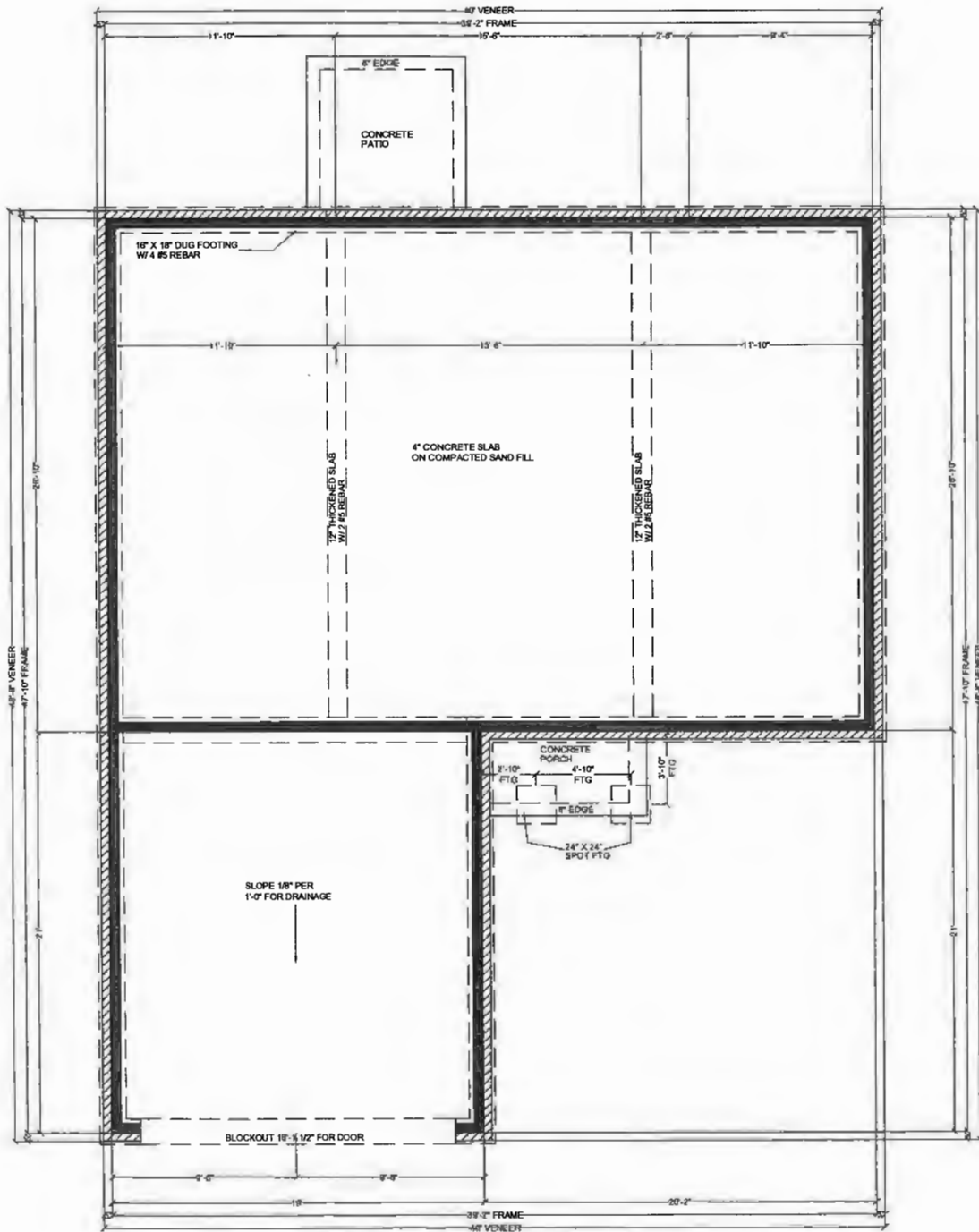
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

<p><b>SHANAHAN HOME DESIGN SHD</b></p>	<p><b>BUILDERS INVESTMENT GROUP, LLC</b> EXTREME HOMES 940 NE 30TH STREET LOTS 3 &amp; 4 POWELLS SUB ADDITION OKLAHOMA CITY, OKLAHOMA COUNTY, OK.</p>	<p>PLAN NAME: <b>1099 A</b></p>	<p>SCALE: <b>1/4" = 1'-0"</b></p>
		<p>DATE: <b>2/26/2021</b></p>	<p>VENEER: 1099 SQFT FRAME: 1051 SQFT GARAGE: 399 SQFT COV. PORCH: 31 SQFT</p>



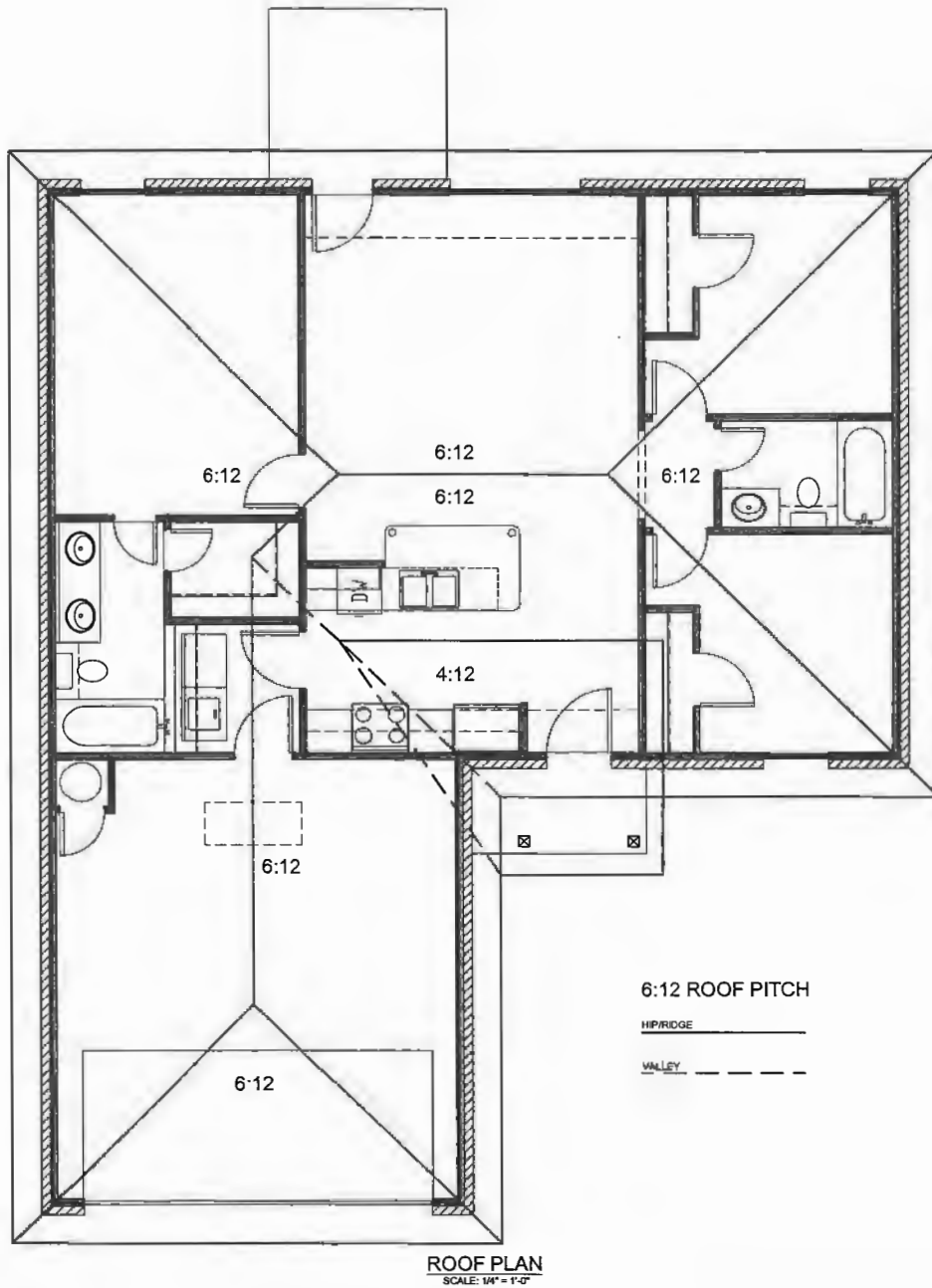
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

SHANAHAN  
 HOME DESIGN  
**SHD**

**BUILDERS INVESTMENT GROUP, LLC**  
 EXTREME HOMES  
 940 NE 30TH STREET  
 LOTS 3 & 4 POWELLS SUB ADDITION  
 OKLAHOMA CITY, OKLAHOMA COUNTY, OK.

PLAN NAME:  
**1099 A**  
 DATE:  
**2/26/2021**

SCALE: **1/4" = 1'-0"**  
 VENEER: 1099 SQFT  
 FRAME: 1051 SQFT  
 GARAGE: 399 SQFT  
 COV. PORCH: 31 SQFT

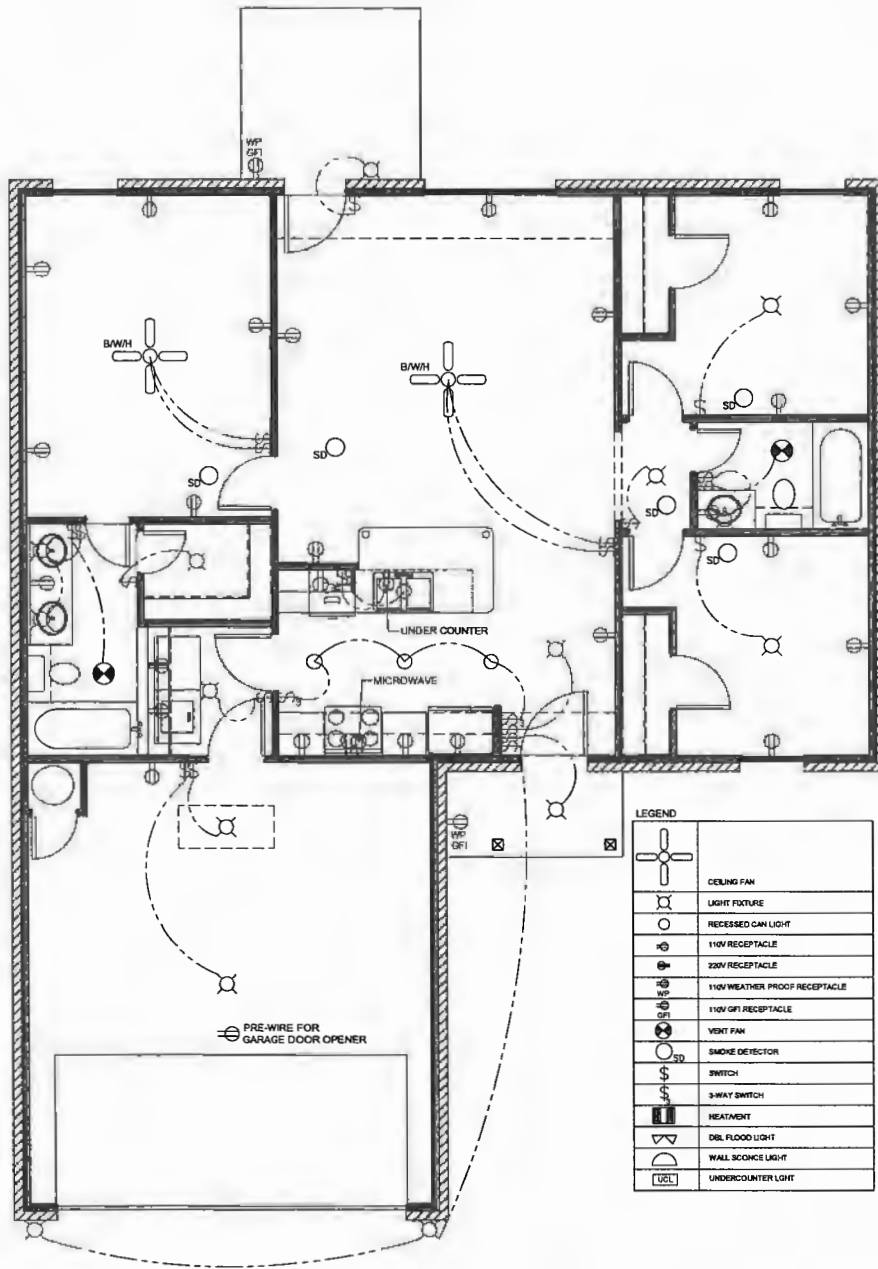


**BUILDERS INVESTMENT GROUP, LLC**  
 EXTREME HOMES  
 940 NE 30TH STREET  
 LOTS 3 & 4 POWELLS SUB ADDITION  
 OKLAHOMA CITY, OKLAHOMA COUNTY, OK.

PLAN NAME:  
1099 A

DATE:  
2/26/2021

SCALE:	1/4" = 1'-0"
VENEER:	1099 SQFT
FRAME:	1051 SQFT
GARAGE:	399 SQFT
COV. PORCH:	31 SQFT



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

SHANAHAN  
HOME DESIGN  
**SHD**

**BUILDERS INVESTMENT GROUP, LLC**  
EXTREME HOMES  
940 NE 30TH STREET  
LOTS 3 & 4 POWELLS SUB ADDITION  
OKLAHOMA CITY, OKLAHOMA COUNTY, OK.

PLAN NAME:  
**1099 A**

DATE:  
**2/26/2021**

SCALE:  
**1/4" = 1'-0"**

VENEER: 1099 SQFT  
FRAME: 1051 SQFT  
GARAGE: 399 SQFT  
COV. PORCH: 31 SQFT



Larry Stein  
County Assessor

# Oklahoma County Assessor's Public Access System

320 Robert S. Kerr #313  
Oklahoma City, Ok 73102  
(405) 713-1200



Oklahoma  
Conservation  
Commission

**All records are current as of close of previous working day.**

## Larry Stein-Oklahoma County Assessor Public Access System

Home	Contact Us	Guest Book	Map Search	New Search
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Real Property Display - Screen Produced 4/2/2021 2:23:38 PM

Account: <b>R036531100</b>	Type: <b>Residential</b>		Location:	0 UNKNOWN
Building Name/Occupant:			<input type="button" value="Map Parcel"/>	
Owner Name 1:	GARRETT & COMPANY LLC		1/4 section #:	2686
Owner Name 2:			Parent Acct:	
Billing Address 1:	9701 BROADWAY EXT		Tax District:	<input type="button" value="TXD 200"/>
Billing Address 2:			School System:	Oklahoma City #89
City, State, Zip	OKLAHOMA CITY, OK 73114-6316		Land Size:	0.15 Acres
Country: <i>(If noted)</i>			Lot Dimensions:	Width 50 Depth 130
<input type="button" value="Personal Property"/>	Land Value: 3,900		<input type="button" value="Treasurer:"/>	<input type="button" value="Click to View Taxes"/>

Sect 22-T12N-R3W Qtr SE

**Full Legal Description:** POWELLS SUB ADDITION 001 000 LOT 3 EX 15FT BY 15FT & ALL OF LOT 4

<input type="button" value="Photo &amp; Sketch (if available)"/>	<input type="button" value="Comp Sales Address/Date/Price (ordered by relevancy)"/>	<input type="button" value="Report Coming Soon"/>
		No comparable sales returned.

Value History *(\*The County Treasurer 405-713-1300 posts & collects actual tax amounts. Contact information [HERE](#))*

Year	Market Value	Taxable Mkt Value	Gross Assessed	Exemption	Net Assessed	Millage	Tax	Tax Savings
2021	3,900	3,900	429	0	429	119.08	51.09	0.00
2020	3,900	3,900	429	0	429	119.08	51.09	0.00
2019	3,900	3,900	429	0	429	119.00	51.05	0.00
2018	3,900	3,900	429	0	429	113.44	48.67	0.00
2017	3,900	3,900	429	0	429	113.35	48.63	0.00

-- -- > >| [1/5]

### Property Account Status/Adjustments/Exemptions

Account #	Grant Year	Exemption Description	Amount
R036531100	1999	5% Capped Account	0

### Property Deed Transaction History *(Recorded in the County Clerk's Office)*

Date	Type	Book	Page	Price	Grantor	Grantee
11/20/1996	Deeds	<a href="#">7839</a>	<a href="#">54</a>	0	GARRETT & CO	GARRETT AND COMPANY LLC
2/1/1978	Historical	<a href="#">4439</a>	<a href="#">1331</a>	0		GARRETT AND COMPANY

### Last Mailed Notice of Value (N.O.V.) Information/History

Year	Date	Market Value	Taxable Market Value	Gross Assessed	Exemption	Net Assessed
2014	04/02/2014	3,900	3,900	429	0	429
2013	03/27/2013	3,900	3,763	413	0	413
2012	04/06/2012	4,000	3,584	394	0	394
2011	04/01/2011	4,000	3,414	375	0	375

### Property Building Permit History

Issued	Permit #	Provided by	Bldg #	Description	Est Construction Cost	Status
--------	----------	-------------	--------	-------------	-----------------------	--------

No Building Permit records returned.

Click button on building number to access detailed information:

Bldg #	Vacant/Improved Land	Bldg Description	Year Built	SqFt	# Stories
--------	----------------------	------------------	------------	------	-----------

No building records returned.

First American Title  
133 N.W. 8th St.  
Oklahoma City, OK 73102

2021020901023807 B: 14629 P: 1986  
02/09/2021 01:06:29 PM Pgs: 2  
Fee: \$ 20.00 Doc Stamp: \$57.00  
David B. Hooten, Oklahoma County Clerk  
Oklahoma County - State of Oklahoma



Return To:  
Extreme Homes LLC  
16009 Ledge Lane  
Edmond, OK 73013

**WARRANTY DEED**  
(OKLAHOMA STATUTORY FORM)

Doc Stamps: **57.00**

Tax ID#: **2686-03-653-1100**

Filed/insured by: First American Title Insurance Company  
File No.: **2595477-OK15 (MSM)**

That **Builders Investment Group, LLC, an Oklahoma limited liability**, (the "Grantor"), in consideration of the sum of TEN & NO/100-----Dollars and other valuable considerations, in hand paid, the receipt of which is hereby acknowledged, do(es) hereby, grant, bargain, sell and convey unto **Extreme Homes LLC, an Oklahoma limited liability company**, (the "Grantee"), the following described real property and premises situated in **Oklahoma** County, State of **Oklahoma**, to wit:

**Lots Three (3) and Four (4), of Block One (1) in POWELL SUBDIVISION of Block One (1), ALTA VISTA ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof; EXCEPT a plot of ground 15 feet by 15 feet located in the SE Corner of Lot 3 described as beginning at the SE Corner of Lot 3, thence North 15 feet; thence West 15 feet; thence South 15 feet; thence East 15 feet to the place of beginning.**

Property Address: **942 NE 30<sup>th</sup> St., Oklahoma City, OK 73105**

Together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same. LESS AND EXCEPT any interest in and to oil, gas, coal, metallic ores and other minerals therein and thereunder previously reserved or conveyed of record and all rights, interests and estates of whatsoever nature incident thereto or arising thereunder, and SUBJECT TO easements, rights of way, restrictive covenants of record.

TO HAVE AND TO HOLD said described premises unto the Grantee, and to the heirs, successors and assigns, forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

Signed and delivered this **February 04, 2021**.

2595477-OK15

57.00

a/a JS/Inventor

Builders Investment Group, LLC , an Oklahoma limited liability company

By: Willard Barnett  
Name: Willard Barnett  
Title: Manager

ACKNOWLEDGMENT - OKLAHOMA FORM

STATE OF OKLAHOMA        }  
                                          } ss.  
COUNTY OF OKLAHOMA    }

This instrument was acknowledged before me on **February 04, 2021**, by **Willard Barnett** as **Manager** of **Builders Investment Group, LLC** an **Oklahoma limited liability company**.

Janea Bingham  
NOTARY PUBLIC **Janea Bingham**  
My Commission Expires: 6-13-23



Mail Tax Statements To:  
~~F&M Bank~~  
~~13900 North Portland Avenue~~  
~~Oklahoma City, OK 73134~~  
SAME AS RETURN





Case Numbers: D-20-21-4  
V-20-21-4  
BP-20-21-45  
BP-20-21-46

950 NE 23<sup>rd</sup> Street, North Elevation, Existing Conditions



Property Address: 950 NE 23<sup>rd</sup> Street

Owner of Record: Ester Thompson Revocable Living Trust and Eric V. Thompson

Applicant/Consulting Engineer/Representative: Mark Grubbs – Grubbs Consulting, LLC

Adjacent Zoning and Land Uses:

	<i>Existing Zoning</i>	<i>Existing Use</i>
<b>Subject Property: 950 NE 23<sup>rd</sup> Street</b>	<b>CN, Neighborhood Commercial</b>	<b>Convenience store, filling station, restaurant (currently vacant)</b>
<i>North</i>	CO, Office Commercial	State health department offices
<i>South</i>	RD-1, Single Family Residential	State maintenance and storage buildings
<i>East</i>	CN, Neighborhood Commercial	Nail salon; meeting facility
<i>West</i>	RD-1, Single Family Residential	Interstate Oil and Gas Compact Commission Office

Proposed Land Use: Redevelop property according to new site plan; new use will be the same as the existing use

Comprehensive Plan Designation: Major Institutional

**Background:**

The subject property, 950 NE 23<sup>rd</sup> Street, is located at the southwest corner of NE 23<sup>rd</sup> Street and North Kelley Avenue in the Capitol-Medical Center Improvement and Zoning District of Oklahoma City. The applicant seeks the necessary Commission approvals for demolition and redevelopment of the property according to the submitted site plan, landscape plan, and architectural elevation drawings. The applicant proposes to construct a new filling station with a convenience store and restaurant, which is essentially the same use as the previous use. The proposed building would be 4,650 square feet in gross floor area, which is about 550 square feet larger than the existing building. The proposed building would be located about the same distance back from 23<sup>rd</sup> Street as the existing building and would be located 11 feet closer to Kelley Avenue than the existing building. A two-way drive aisle would be provided on the west side of the proposed building. The drive aisle on the east side of the existing building would be removed. The parking area in front (to the North) of the existing building would be replaced, redesigned, and increased from 8 spaces to 10 spaces. The parking area behind (to the South) of the existing building, where there are currently 12 parking spaces, would be shifted southward and expanded to 25 spaces. A total of 35 parking spaces will be provided. The south driveway on Kelley would be relocated southward, and the north driveway on Kelley would be widened to 35 feet to provide safer truck access. The driveway on 23<sup>rd</sup> Street would be replaced, and a public sidewalk would be installed to fill in gaps along 23<sup>rd</sup> Street and Kelley Avenue. The existing 8 gas pumps and canopy would be removed, and 12 new gas pumps and a new canopy would be installed in roughly the same location. New landscaping would be installed according to the submitted landscape plan. The applicant’s submitted plans are attached for the Commission’s consideration.

**Items for Consideration:**

1. **D-20-21-4: Building permit for demolition of the existing structures (convenience store/restaurant, fuel pumps, and fuel canopy), parking lot, and driveways.** Demolitions require the Commission’s approval. The subject property is *not* located in a designated historic district, and there are no existing historic resources on the property. The proposed demolition work complies with applicable zoning rules.
2. **V-20-21-4: Variance from several specified zoning rules.** The applicant requests variances from the following standards applicable to a new development:
  - a. **Variance from OAC 120: 10-3-24(b)(4) to permit propane fuel and packaged ice to be stored and displayed for sale outside of the building.** This standard is intended to promote an aesthetically pleasing appearance for small commercial uses in the Neighborhood Commercial District while mitigating their impact on the character and environment of residential neighborhoods within the Capitol-Medical Zoning District.

The outdoor display of products such as packaged ice, bundled firewood, household propane fuel, and bottled beverages is common industry practice at convenience stores and filling stations. The proposed development is located at the intersection of two arterial streets, the building is oriented toward the North (away from the Lincoln Terrace East District), there are no residential uses on any adjacent property, and no change in use is proposed that would detrimentally impact the neighborhood or surrounding properties. The propane fuel would be stored in a secure enclosure, and the packaged ice would be stored in one or two refrigerated containers.

- b. **Variance from OAC 120: 10-7-11(a)(32) to permit the minimum parking requirement for a “retail/commercial establishment” to be calculated at the rate of one parking space per 200 square feet of net floor area.** The zoning rules specify a parking ratio of 1 space per 100 square feet for a “retail/commercial establishment,” but the parking requirement for a filling station/convenience store is not specified in the rules. The ratio of 1:100 is quite high, and a filling station with a convenience store is a specialized land use with unique parking needs (higher vehicle turnover and shorter parking duration) that differ from parking needs of most other retail/commercial uses. A total of 35 spaces will be provided, whereas the existing development has 20 spaces. The 35 spaces will be more than adequate to meet the anticipated parking demand.
- c. **Variance from OAC 120: 10-7-12(1) to permit driveway widths of 35 feet for the driveway on NE 23<sup>rd</sup> Street and for one of the two driveways on North Kelley Avenue.** Driveways for two-way traffic are limited to 24 feet in width unless otherwise approved by the Commission. The existing driveway on 23<sup>rd</sup> Street appears to be wider than 35 feet, and the applicant proposes to replace the driveway to a width of 35 feet and install new curbing, sidewalks, and landscaping along the north side of the property. The applicant proposes to widen the existing, north driveway on Kelley Avenue to 35 feet. Both driveways would provide the adequate turning radius and maneuvering space for semi-trucks to access the underground fuel tanks.
- d. **Variance from OAC 120: 10-7-10(2) to permit parking spaces in the rear yard setback area.** There is lack of clarity in the zoning rules as to whether parking spaces are permitted in building setback areas. On residential developments, Staff has interpreted the zoning rules to permit driveways and drive aisles, but not marked parking spaces, in building setback areas. To be consistent, Staff has applied the same interpretation to the proposed commercial development. The applicant proposes to install new parking spaces to the South of the building, and the proposed parking spaces will be 12 feet from the rear (south)

property line, thus encroaching 3 feet into the 15-foot rear yard setback. The proposed parking lot is designed in this manner to provide a wide, 30-foot, two-way drive aisle that will facilitate refuse truck access to the trash bins and provide more backing space for the 90-degree angle parking. Staff has no objection to this request, as the proposed parking will have no impact on the adjacent property to the South, which is a State maintenance and storage facility.

- e. **Variance from OAC 120: 10-5-4.1(8) to permit a trash enclosure in the side yard setback area.** The zoning rules require setback areas to be open to the sky and to be free of structures and projections. The proposed trash enclosure would be located southwest of the building in the same general area as the existing dumpster. The enclosure would be 7 feet, 6 inches in height to fully screen the dumpster from public view and would be approximately 35 feet in length and 23 feet in depth. The enclosure would have fiber cement walls and Mueller brand trash enclosure doors as indicated on the attached plans. The enclosure would be installed approximately 5 feet from the side (west) property line against the existing retaining wall, thus encroaching 15 feet into the 20-foot side yard setback. This placement is ideal, as it is located away from the building and the street, it is not close to any residential buildings, and it provides good truck access.

- 3. **BP-20-21-45: Building permit for construction of a filling station with convenience store and restaurant.** The proposed building is 4,650 square feet in gross floor area. Primary exterior materials on the building will be fiber cement board siding and metal siding as indicated on the architectural elevation drawings.

The proposed fuel canopy is 36' x 116' or 4,176 square feet in size and 17 feet, 6 inches in height. The canopy will be a Mapes brand pre-finished aluminum canopy.

Aside from the specified variances listed above, the proposed building, canopy, and exterior site improvements are otherwise in compliance with applicable zoning rules.

- 4. **BP-20-21-46: Building permit for alterations to the existing pylon sign and for installation of wall signs and fuel island canopy signs.** The proposed signage plans are attached for the Commission's review. The existing pylon sign adjacent to 23<sup>rd</sup> Street will remain in place and will be refaced. The dimensions of the pylon sign will remain the same. All other proposed signs will be new signs affixed to the new building and to the fascia of the new canopy. All the proposed signage is in compliance with applicable zoning rules.

#### **Applicable Zoning Rules for the CN, Neighborhood Commercial District:**

##### **OAC 120:10-3-24. Neighborhood Commercial District (CN)**

(a) General description. The Neighborhood Commercial District (CN) is intended to provide locations for retail and service uses oriented toward meeting the regular needs of neighborhood residents. Because these shops and stores may be a part of the neighborhood, more restrictive requirements for light, air, open space and off-street parking are made than are provided in other metropolitan commercial district.

(b) Uses permitted. Property and buildings in a CN, Neighborhood Commercial District shall be used only for the following purposes:

(1) Any uses permitted in a Low Rise General Residential District (RD-3).

(2) Retail stores and shops supplying the regular and customary needs of the residents and primarily for their convenience, as follows:

- (A) Alcoholic Beverage Retail Sales.
- (B) Apparel store
- (C) Antique Shop.
- (D) Automobile service station, but not including body shops or junk yards.
- (E) Bakery goods store.
- (F) Bank or credit union.
- (G) Barber shop or beauty salon.
- (H) Book or stationery store.
- (I) Dry cleaner, provided cleaning and pressing is not conducted on the premises.
- (J) Drug store
- (K) Dairy products or Ice Cream store.
- (L) Delicatessen.
- (M) Electronics store.
- (N) Food store.
- (O) Funeral home, parlor or mortuary.
- (P) Gift shop.
- (Q) Jewelry store.
- (R) Key shop.
- (S) Messenger or Telegraph Service.
- (T) Office.
- (U) Off-street parking lot.
- (V) Painting and Decorating shop.
- (W) Pet shop.
- (X) Photographer or Artist studio.
- (Y) Restaurant, but not including drive-in restaurant.
- (Z) Sales or Showroom.
- (AA) Self-service laundry or dry cleaner.
- (BB) Shoe Repair shop.
- (CC) Tailor shop.
- (DD) Theatre.

(3) Accessory buildings and uses associated with the uses in (1) through (3) of this Section.

(4) Any building used primarily for any of the enumerated purposes in (1) through (3) of this Section may not have more than 40% of the floor area devoted to purposes incident to such primary use. Stores shops and businesses permitted under this Section shall be conducted within enclosed buildings. No material or goods offered for sale or stored in connection with the uses enumerated in this Section shall be displayed or stored outside of a building.

(c) **Conditional uses permitted on review.** The following uses may be permitted upon review in accordance with the provisions of OAC 120:10-13-19:

(1) Any use permitted on review in a High Rise General Residential District (RD-4).

(2) Any other retail establishment serving the Zoning District in a manner that, in the opinion of the Commission, is similar in character to the uses permitted in this Section and is not more obnoxious or detrimental to the area in which it is located.

(d) **Height regulations.** Except as provided in OAC 120:10-5-3.1, no building shall exceed 2-1/2 stories or 35 feet in height.

(e) **Area regulations.** Except as provided in OAC 120:10-5-4.1, the provisions of this subsection shall apply to all property located in the Neighborhood Commercial (CN) zoning district.

(1) **Front yard.** All buildings shall be set back from the street right-of-way lines to comply with the following front yard requirements.

(A) The minimum depth of the front yard shall be 25 feet.

(B) If 25% or more of the lots on one side of the street between 2 intersecting streets is improved with buildings, all of which have observed an average setback line of greater than 25 feet, and no building varies more than 6 feet from this average setback line, then no building shall be constructed closer to the street line than the minimum setback so established by the existing buildings; but this district shall require a front yard of a depth greater than 75 feet.

(2) **Side yard.**

(A) For dwellings, there shall be a side yard on each side of the building a width of not less than 5 feet. On any corner lot, a building shall be set back from the street line of the intersecting street, a distance of 15 feet if the lot is back to back with another corner lot, and 20 feet in every other case.

(B) For uses other than dwellings, no side yard shall be required. For uses adjacent to a dwelling district there shall be a side yard of not less than 10 feet, and on all corner lots there shall be a side yard of not less than 20 feet.

(3) **Rear yard.** There shall be a rear yard, which shall have a depth of not less than 25 feet or 20% of the average depth of the lot, whichever is smaller. In all other cases, a rear yard shall not be required except where a lot abuts a dwelling district, in which case there shall be a rear yard of not less than 15 feet.

(4) **Intensity of use.** The intensity of use for residential purposes shall be the same as the Low Rise General Residential District (RD-3). A lot occupied by a multiple-family dwelling of four units shall not be less than 10,100 square feet in area. For each additional dwelling unit, 1,700 square feet shall be added.

(5) **Coverage.** Main and accessory buildings for uses other than residential use shall not cover more than 40% of the lot area on interior lots and 45% of the area on corner lots. In no case shall the gross floor area of main and accessory buildings exceed the total area of the lot.

(f) **Off-Street Parking.** All off-street parking facilities shall be designed and constructed in accordance with Subchapter 7 and Subchapter 17 of this Chapter.

#### **OAC 120:10-13-18. Powers of the Commission relative to variation**

(a) The Commission is empowered to authorize, as requested a variation from the strict application of this Chapter to relieve difficulties or hardship, but may establish requirements relative to the property to achieve the purpose and intent of this Chapter. The Commission shall have the power to grant variances in the following instances:

(1) Exceptional narrowness, shallowness, or shape of a specific piece of property at the time of the original adoption of this Chapter.

(2) Exceptional topographical conditions or other extraordinary or exceptional situations or conditions of a specific piece of property, which is a condition generally not prevalent in the area.





Received 3/18/2021  
OMES Capital Assets Management

Date: March 18, 2021

To: Beverly Hicks [beverly.hicks@omes.ok.gov](mailto:beverly.hicks@omes.ok.gov)  
Administrative Coordinator  
Capitol-Medical Center Improvement  
& Zoning Commission  
Will Rogers Building  
2401 N. Lincoln Blvd, 2<sup>nd</sup> Floor  
405-522-0440

From: Terri Massey  
[tmassey@gc-okc.com](mailto:tmassey@gc-okc.com)  
405-265-0641 x 109

## TRANSMITTAL LETTER

Via: Email [beverly.hicks@omes.ok.gov](mailto:beverly.hicks@omes.ok.gov)

Re: 7-Eleven Store at 950 NE 23<sup>rd</sup> Street

---

### Attachments:

- 1 Building Permit Application with the following required supporting documents:
    - Site Plan
    - Building Plans & Elevations
    - Landscape Plan
  
  - 1 Sign Permit Application with the following required supporting documents:
    - Site Plan
    - Sign Plans
    - Landscape Plan
  
  - 1 Variance Application with the following required supporting documents:
    - Deed to Property
    - Letter Explaining Variance Request
- 

**Comments:** Please accept the attached applications and supporting documents for placement on the April 8, 2021, CMZ Citizens Advisory Committee and the April 23, 2021, Capitol-Medical Zoning Commission dockets. Please contact Mark Grubbs or me if you have any questions.

Thank You,



**State of Oklahoma  
Capitol-Medical Center Improvement  
and Zoning Commission**

**Application for Building Permit  
(Plan Review)**

P.O. Box 53448  
Oklahoma City, OK 73152-3448  
Phone: 405-522-0440 Fax: 405-522-3861

<http://omes.ok.gov/boards-commissions/capitol-medical-center-improvement-and-zoning-commission>

I (we), the undersigned owners of the following described property, respectfully make application to the Capitol-Medical Center Improvement and Zoning Commission to request the addition, demolition or alteration of an improvement or structure on the property. In support of the application, the following facts are shown:

**Nature of Request**

Erect     Demolish     Remodel     Move On/Modular     Install     Add On

**Location of Property (Address) and Legal Description:**

<u>950 NE 23rd St</u>	<u>Oklahoma City</u>	<u>73105</u>
Address	City	ZIP Code
<u>State Capitol</u>	<u>1</u>	<u>1-12 (less &amp; except)</u>
Addition	Block	Lot(s)

Legal Description (unplatted land only): \_\_\_\_\_

**Description of Improvement**

Type of Improvement: demolish existing building and erect new convenience store with restaurant & associated fuel islands

Location on Property: center

Number of Stories: <u>1</u>	Use: <u>convenience store &amp; restaurant</u>	Height: <u>24.6'</u>
Length: <u>93.3'</u>	Width: <u>50'</u>	Square Footage: <u>4650</u>
Estimated Cost: <u>N/A</u>		

Applicant Signature (owner/agent):

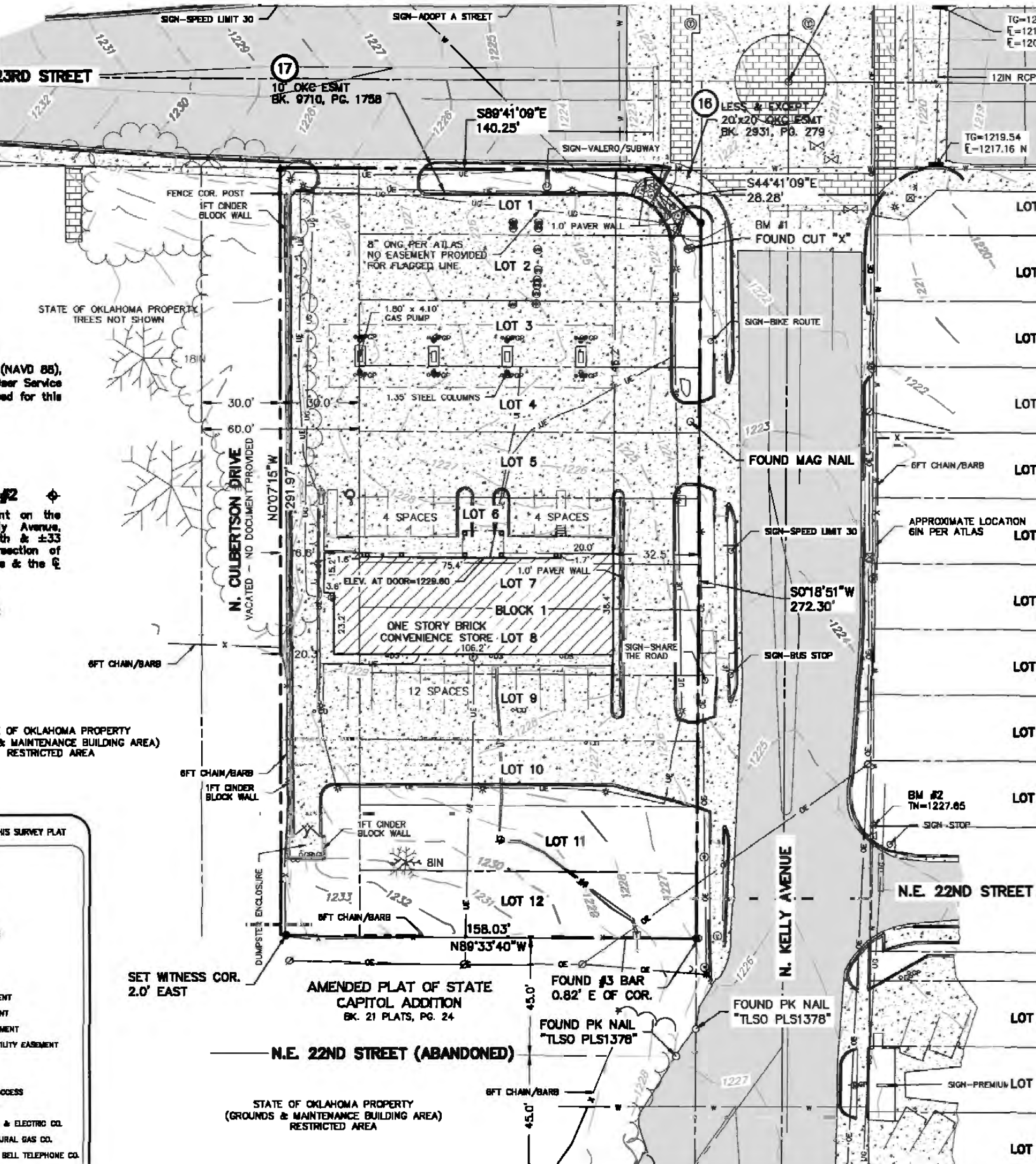
<u>1800 S Sara Rd</u>	<u>Yukon, OK 73099</u>	
Street Address	City	ZIP Code
<u>405-265-0641</u>	<u>mark.grubbs@gc-okc.com</u>	
Phone number	Email	

Representative (if applicable):	<u>Mark Grubbs</u>
Phone Number	Email

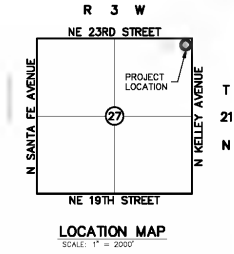
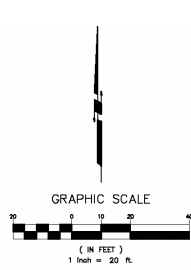
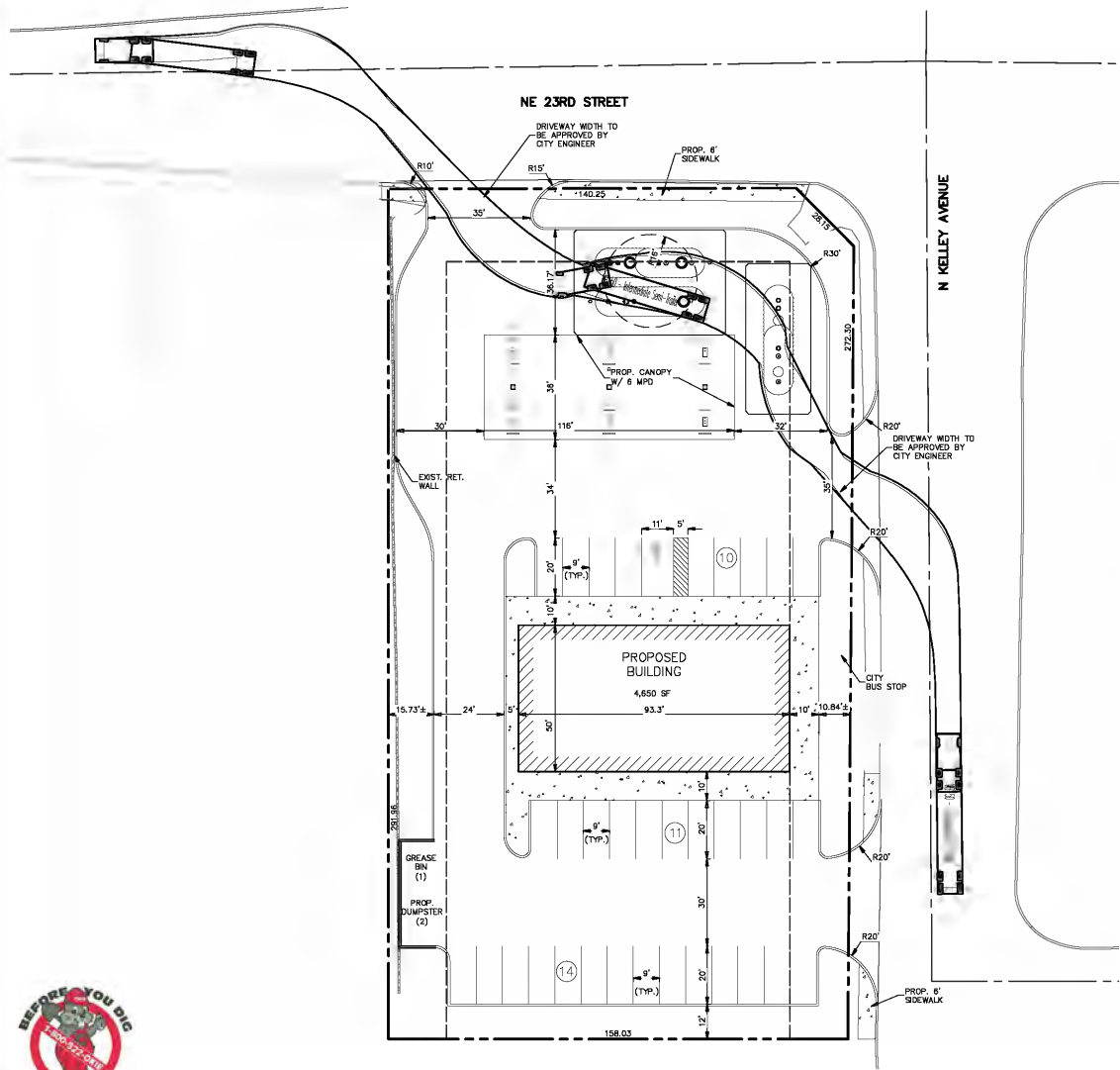




950 NE 23rd Street – ALTA Survey, Existing Conditions, Enlarged View

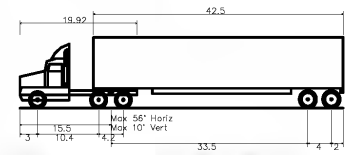


# 950 NE 23rd Street -- Site Plan, Proposed



**SITE SUMMARY TABLE**

8,300.32	&	
		4,650
		27/35
		30'
		45% MAX.
2		35' MAX.



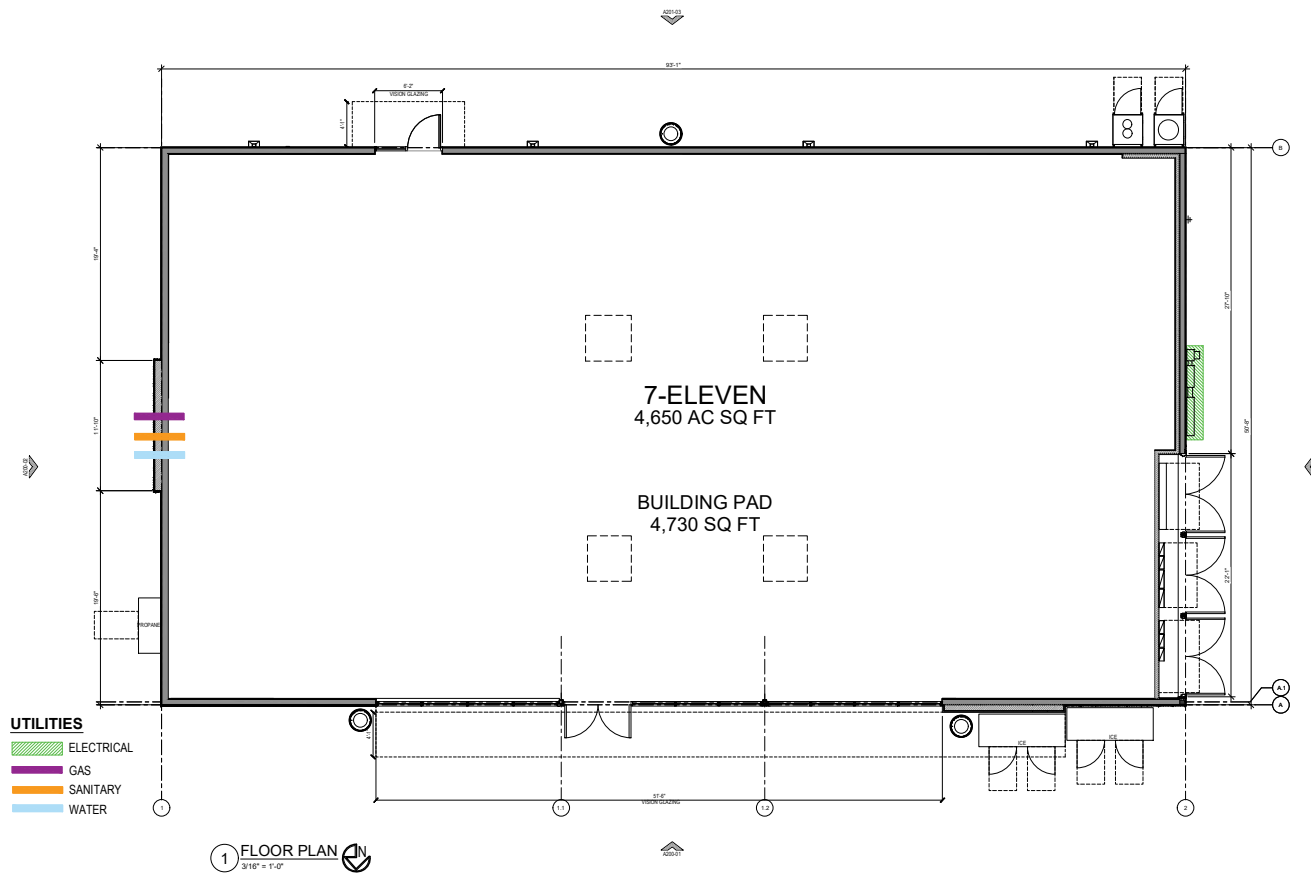
**RUBBIS CONSULTING, LLC**  
CIVIL ENGINEERING & LAND PLANNING  
1000 N. Main Street  
Oklahoma City, Oklahoma 73102  
Phone: (405) 255-9811  
Fax: (405) 255-9811  
RUBBIS CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 1115203-00002

**7-ELEVEN**  
950 NE 23RD STREET  
OKLAHOMA CITY, OK COUNTY, OK 73105  
**SITE PLAN TEST FIT**

NO.	REVISIONS	DESCRIPTION	DATE

Proj. No.: 20-046  
Date: 03/27/21  
Scale: (Notes) 1/2" = 1'-0"  
Drawn By: JCS  
Checked By: JCS  
Approved By: JCS

SHEET NUMBER  
**1**



- UTILITIES**
- ELECTRICAL
  - GAS
  - SANITARY
  - WATER

1 FLOOR PLAN  
3/16" = 1'-0"

NOT FOR CONSTRUCTION  
DRAWINGS COMPLY WITH THE 2017 FLORIDA BUILDING CODE 6TH EDITION AND THE 2014 NATIONAL ELECTRIC CODE

2600 Mallard Center Parkway  
Suite #200  
Mallard, FL 32751  
P (407) 661-9700  
www.rp.com  
Florida Certified Engineer #AAS00008

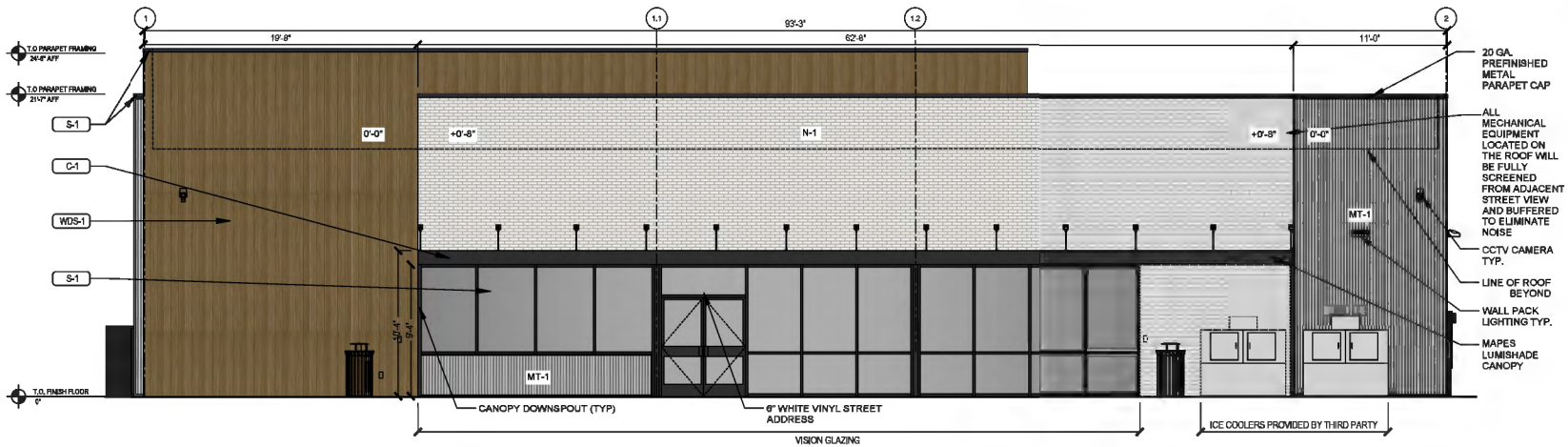
Chakoi & Peterson  
Architects Engineers Planners

<b>CLIENT NAME</b>	<b>CREIGHTON COMPANIES, LLC</b> 280 WEST FIRST STREET, SUITE 101 FORT MEYERS, FL 33901
<b>PROJECT NAME</b>	<b>7-ELEVEN - OKLAHOMA CITY, OK</b> 590 NE 23RD STREET OKLAHOMA CITY, OK 73105
<b>SHEET TITLE</b>	<b>FLOOR PLAN</b>

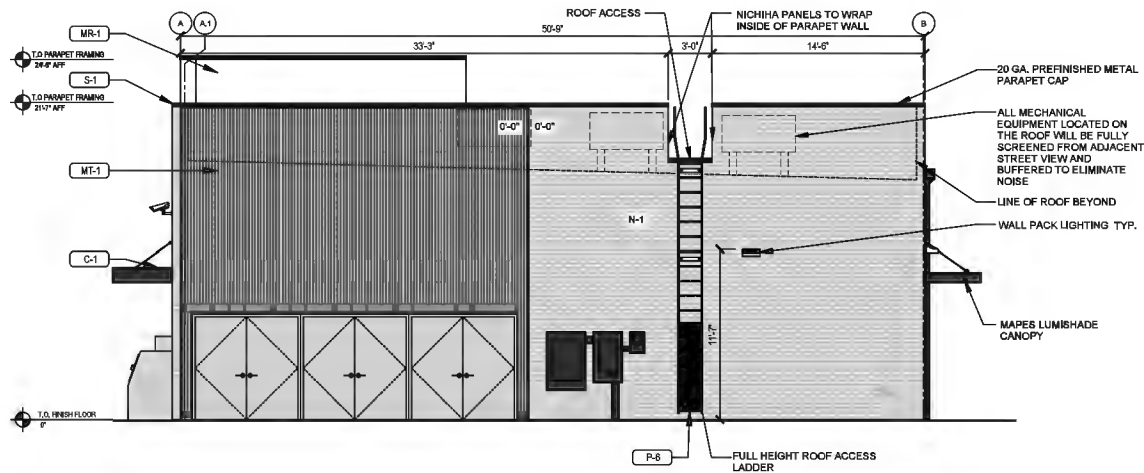
PROJECT NO.	
DATE	
DRAWN BY	
CHECKED BY	
DATE	

A120

EXTERIOR MATERIALS SCHEDULE			
COLOR	NO.	MATERIAL	MANUFACTURER - COLOR
	MR-1	METAL ROOFING	GLINKA/ST- WHITE
	N-1	FIBER CEMENT PANELS	VECO/SH - VINTAGE BRICK PANELS - PAINTED-P-1
	P-1	EXTERIOR PAINT	SHERWIN WILLIAMS - PURE WHITE - SW 7005
	P-2	EXTERIOR HOLLOW METAL DOORS AND FRAMES	SHERWIN WILLIAMS - MISTY - SW 6232
	P-3	TRASH ENCLOSURE GATE, GRAVEL GUARDS AND LIGHT POLES	SHERWIN WILLIAMS - TRICORN BLACK - SW 6238
	P-4	EXTERIOR BOLLARDS AND STEEL COLUMNS	SHERWIN WILLIAMS - TRICORN BLACK - SW 6238
	S-1	ALUMINUM STOREFRONT GLAZING CAP FLASHING, DOWNSPOUTS & SCUPPERS	SHERWIN WILLIAMS - TRICORN BLACK - SW 6238
	C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY MATTIE BLACK ENAMEL W/ BREAK GUTTER CONNECTIONS
	WDS-1	WOOD LOOK SIDING	VECO/SH - VINTAGE WOOD - CEDAR (AMPERS FOR VERTICAL INSTALLATION)
	MT-1	CORRUGATED METAL WALL PANELS	PAC-CLAD 22 GAUGE 7"R" CORRUGATED METAL WALL PANELS, COLOR: SILVER



1 ELEVATION - FRONT  
1/4" = 1'-0"



2 ELEVATION - LEFT SIDE  
1/4" = 1'-0"

2600 Midland Center Parkway  
Suite #200  
Maitland, FL 32751  
P (407) 661-9100  
P (407) 661-9101  
www.rp.com



CLIENT NAME  
CREIGHTON COMPANIES, LLC  
2240 WEST FIRST STREET, SUITE 101  
FORT MYERS, FL 33801

PROJECT NAME  
7-ELEVEN - OKLAHOMA CITY, OK  
650 NE 28TH STREET  
OKLAHOMA CITY, OK 73105

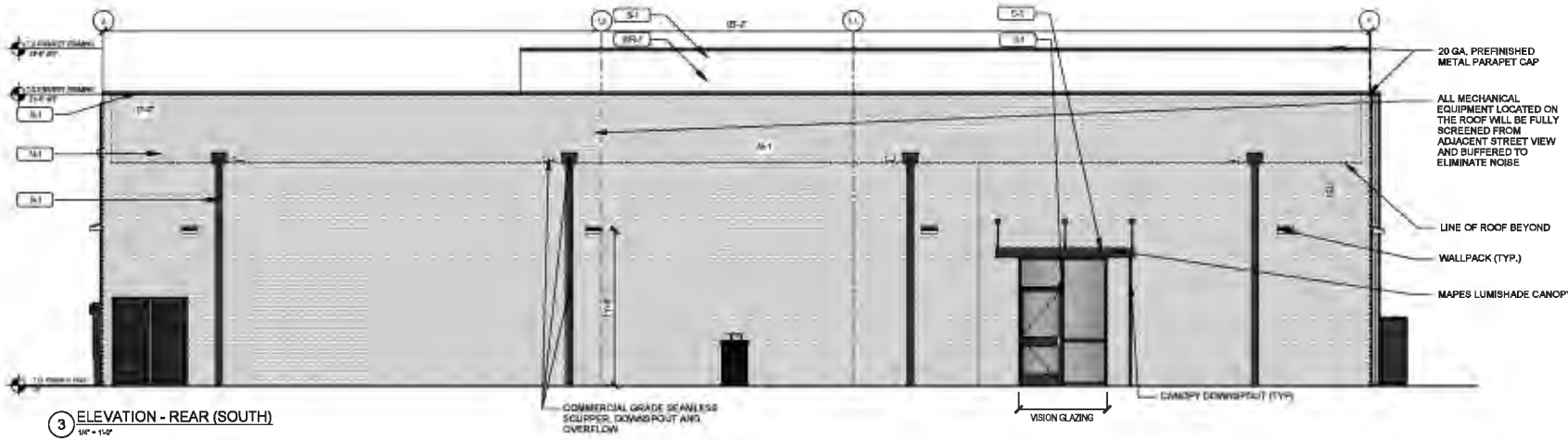


PROJECT NO.	DATE	BY/ISSN	CHKD BY	CREATED/ISSUED

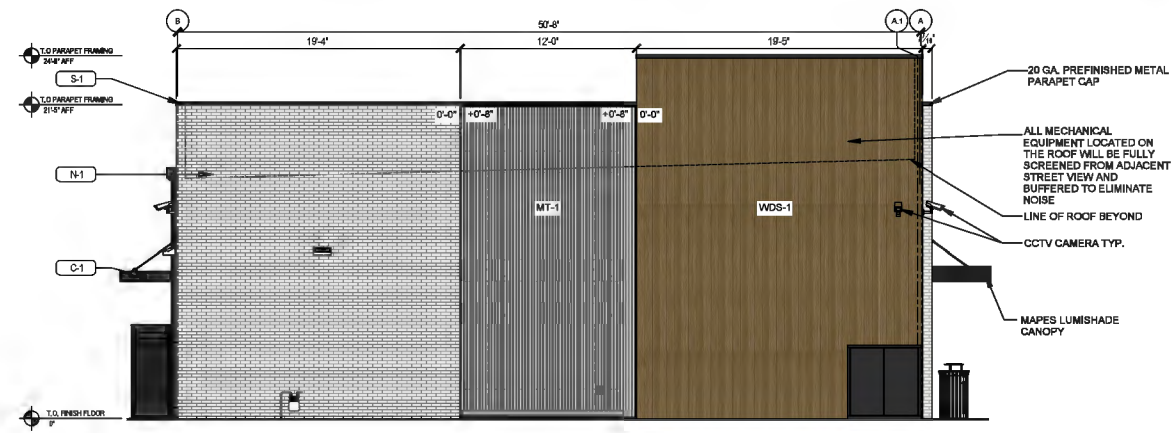
A200

EXTERIOR ELEVATIONS

EXTERIOR MATERIALS SCHEDULE			
COLOR	NO.	MATERIAL	MANUFACTURER - COLOR
	MR-1	MEMBRANE ROOFING	UNPAVED - WHITE
	N-1	RESET CONCRETE PANELS	WDS-14 - VINTAGE BRICK PANELS - PAINTED-P-1
	P-1	EXTERIOR PAINT	SHERWIN WILLIAMS - PURE WHITE - SW 7005
	P-2	EXTERIOR HOLLOW METAL DOORS AND FRAMES	SHERWIN WILLIAMS - MISTY - SW 6232
	P-3	TRASH ENCLOSURE GATE, GRAVEL GUARDS AND LIGHT POLES	SHERWIN WILLIAMS - TRICORN BLACK - SW 6208
	P-4	EXTERIOR SILLARCS AND STEEL COLUMNS	SHERWIN WILLIAMS - TRICORN BLACK - SW 6208
	S-1	ALUMINUM STOREFRONT GLAZING CAP FLASHING, DOWNPOUTS & SCUPPERS	SHERWIN WILLIAMS - TRICORN BLACK - SW 6208
	C-1	PRE-FINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY MATTE BLACK ENAMEL W/WEAR OUTER CONDUCTIONS
	WDS-4	WOODLOOK SIDING	WDS-14 - VINTAGE WOOD - CEDAR (IMPREG) FOR VERTICAL INSTALLATION
	MT-1	CORRUGATED METAL WALL PANELS	PAC-CLAD 22 GAUGE 7"R CORRUGATED METAL WALL PANELS, COLOR: SILVER



3 ELEVATION - REAR (SOUTH)  
1/4" = 1'-0"



4 ELEVATION - RIGHT SIDE (EAST)  
1/4" = 1'-0"

2600 Midland Center Parkway  
Suite #200  
Maitland, FL 32751  
P (407) 661-9100  
F (407) 661-9101  
www.rp.com

**Creighton & Peterson**  
Architects Engineers Planners

CLIENT NAME  
**CREIGHTON COMPANIES, LLC**  
2240 WEST FIRST STREET, SUITE 101  
FORT MYERS, FL 33801

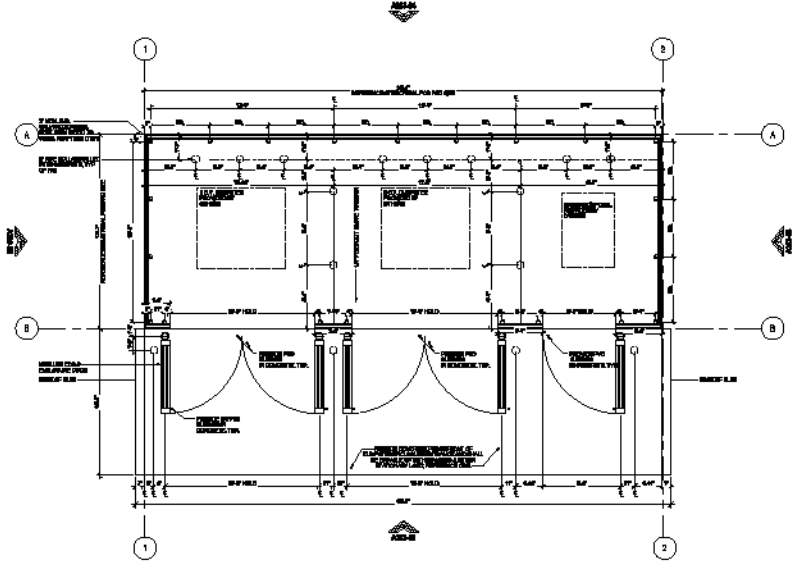
PROJECT NAME  
**7-ELEVEN - OKLAHOMA CITY, OK**  
660 NE 28TH STREET  
OKLAHOMA CITY, OK 73108

SHEET TITLE  
**EXTERIOR ELEVATIONS**

ISSUED FOR PERMIT

PROJECT NO. 28071  
DATE 01/11/2018  
DRAWN BY 0180/0180  
CHECKED BY 0180/0180

A201



1 DUMPSTER FLOOR PLAN  
 SFP - 4.0' 

NOT FOR CONSTRUCTION  
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND THE CITY ORDINANCES, SUBJECT CODE

2000 Medical Center Parkway  
 Suite 200  
 Midland, TX 79701  
 T (807) 663-9100  
 F (807) 663-9100  
 www.rp.com



CLIENT NAME  
**CREIGHTON COMPANIES, LLC**  
 2240 WEST FIRST STREET, SUITE 101  
 FORT WORTH, TX 76102

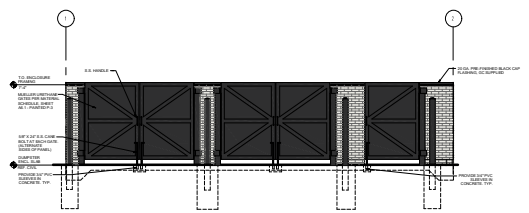
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**74 ELEMEN - OKLAHOMA CITY, OK**  
 801 N. 23RD STREET  
 OKLAHOMA CITY, OK 73106



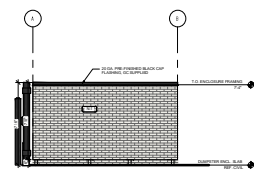
REVISION	

PROJECT NO.	
DATE	
VERSION	
DRAWN BY	
CHECKED BY	

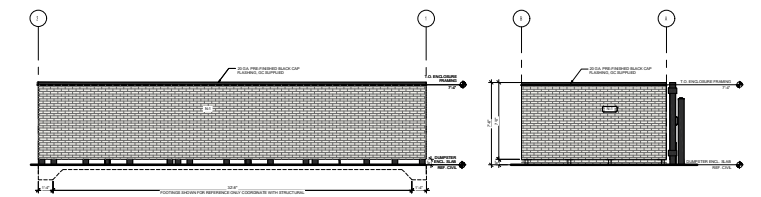
EXTERIOR MATERIALS SCHEDULE			
COLOR	NO.	MATERIAL	MANUFACTURER - COLOR
001	001	RESURFACING	CONCRETE - WHITE
002	002	EXTERIOR WALLS	BRICK - RED GLAZED BRICK - PAVED 1"
003	003	EXTERIOR ROOF	ASBESTOS FIBERGLASS - GREY WHITE - 50' DIA
004	004	EXTERIOR FLOORING	CONCRETE - POLISHED
005	005	EXTERIOR WALLS	CONCRETE - POLISHED
006	006	EXTERIOR WALLS	CONCRETE - POLISHED
007	007	EXTERIOR WALLS	CONCRETE - POLISHED
008	008	EXTERIOR WALLS	CONCRETE - POLISHED
009	009	EXTERIOR WALLS	CONCRETE - POLISHED
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100	100	EXTERIOR WALLS	CONCRETE - POLISHED



06 DUMPSTER EAST ELEVATION  
SCALE: 3/16"=1'-0"

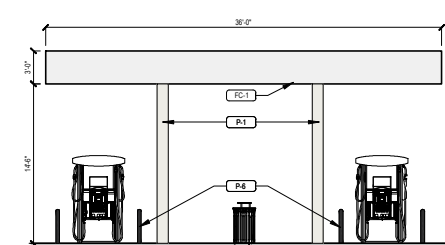


05 DUMPSTER NORTH ELEVATION  
SCALE: 3/16"=1'-0"

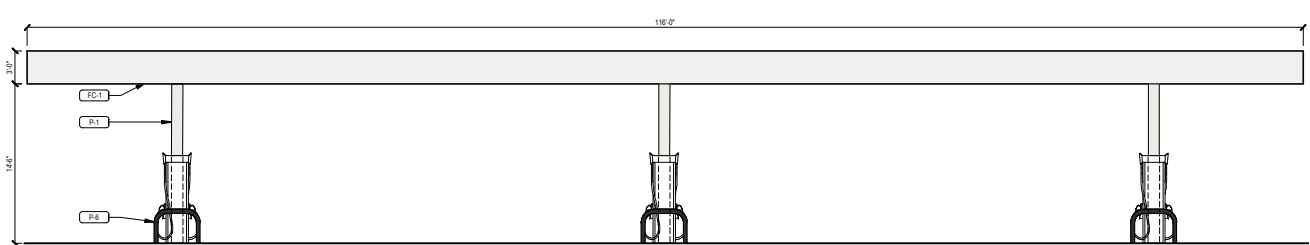


04 DUMPSTER WEST ELEVATION  
SCALE: 3/16"=1'-0"

03 DUMPSTER SOUTH ELEVATION  
SCALE: 3/16"=1'-0"



02 FUELING CANOPY - SHORT  
SCALE: 3/16"=1'-0"



01 FUELING CANOPY - LONG  
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION  
DRAWINGS COMPLY WITH THE 2021 FLORIDA BUILDING CODE 7TH EDITION AND THE 2017 NATIONAL ELECTRIC CODE

2600 Midland Center Parkway  
Suite #200  
Maitland, FL 32751  
P (407) 661-5700  
www.rp.com  
Florida Certified Professional P.A.C. 000028

**Chacai & Peterson**  
Architects Engineers Planners

CLIENT NAME  
**CREIGHTON COMPANIES, LLC**  
290 WEST FIRST STREET, SUITE 101  
FORT MEYERS, FL 33901

PROJECT NAME  
**7-ELEVEN - OKLAHOMA CITY, OK**  
590 NE 23RD STREET  
OKLAHOMA CITY, OK 73105

SHEET TITLE  
**DUMPSTER AND FUEL CANOPY EXTERIOR ELEVATIONS**

PROJECT NO.	DATE	DRAWN	CHECKED
202411	03/2025	MC	PHIL BOWLER

**A203**





03/17/2021

**Tanner Consulting**  
CORPORATE OFFICE: 3228 SOUTH LEWIS AVENUE  
TULSA, OKLAHOMA 74106-0588  
OFFICE: 955.744.9583

CERTIFICATE OF AUTHORIZATION NO. OK CA 02897 EXP. 8/30/2021  
LANDSCAPE ARCHITECT OF RECORD  
DEREK MCCALL  
OKLAHOMA EXP. 8/30/2021



ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH THE CITY OF OKLAHOMA CITY DEVELOPER AND MAINTENANCE (CHAPTER 17) ORDINANCE AND ALL APPLICABLE ORDINANCES.

PROJECT: 21050  
DATE: 03/17/2021

PLAN SCALE: (1) 1"=20'-0"  
(2) N/A

LANDSCAPE PLAN

7-ELEVEN  
950 NE 23rd STREET  
Oklahoma City, Oklahoma 73105

I, Derek McCall, Registered Landscape Architect # 386  
Certify that the Plan Shown Meets the Oklahoma  
Capitol-Medical Center Improvement and Zoning  
Commission Administrative Rules (Effective August 1, 2018)  
Chapter 17 Off-Street Parking Facilities Landscape Code.

Signature:

Date: 03/17/21

Scale: 1"=20'-0"

0 10 20 40  
NORTH

### City of Oklahoma City, Oklahoma Oklahoma City Capitol Medical Center Code SubChapter 17

Description of Property:  
Lot Size= 44,268 sq ft (1.06 ac)  
Developed Area= 44,268 sq ft  
Building Footprint= 4,620 sq ft  
Required Parking Spaces= 27  
Proposed Parking Spaces= 35

**120-10-17-3 General Requirements**  
(b) Surface parking lots shall have a minimum landscaped area equal to at least 15 percent of the grass paved area within the lot.  
Grass paved area within the lot= 33,112 sq ft  
Landscaped area= 4,967 (14.99% of grass paved area)

**120-10-17-6 Landscape Areas**  
(a) A minimum of 1 tree per 5 parking spaces shall be required for interior lot landscaped areas. Any interior lot area shall be a minimum of 6 feet in length and 6 feet in width with a minimum area of 150 square feet.  
Proposed Parking Spaces= 35  
Required trees= 35/5= 4.375= 5 trees

(c) Newly planted trees shall:  
(1) measure a minimum of 2.5 inches in caliper at a height 4 inches above ground level;  
(2) measure a minimum of 6 feet in height;  
(3) have a 3.5 foot minimum mature height; and,  
(4) must be drought tolerant.

(d) (1) Front yard buffer (Appendix D.1, A). All parking area abutting a public right-of-way or future street shall provide a front yard buffer of at least 10 feet deep from the sidewalk, consisting of shrubbery, hedges, trees, decorative walls or fences, which create a visual screen of at least three feet high, does not apply to internal driveways, or alleys.  
(g) (4) Internal landscaped island (Appendix D.1, D). Internal parking rows should provide landscaped islands at either end of the rows. The islands shall be equal in length to the rows and at least one foot wide, or of equivalent size if an irregular shape is necessary. Islands shall include at least two trees with shrubs, flowers, grass or other plantings so that no more than 50% of the ground cover is mulch or gravel.

**120-10-17-4 Landscaping in the public right-of-way**  
(1) Where parking lots are adjacent to sidewalks in the public right-of-way, continuous landscape buffer strips will be constructed except at points of access and ingress into the facility. The landscape buffer strip shall be a minimum of 6 feet in width and shall contain, in addition to ground cover, trees and shrubs planted along the entire length.  
(2) All plantings must be drought tolerant and comply, in as much as possible, with the height, width and caliper requirements of this regulation.

**120-10-17-7 Fretmeter screening**  
(a) All sides of a parking lot or vehicle use area adjoining residentially zoned or used property shall be enclosed with an opaque screen. All screening must be a minimum of 5 feet and no more than 6 feet.

**120-10-17-9 Maintenance Requirements**  
(a) All landscaped areas shall be kept in good condition year round and shall be maintained in accordance with the approved landscape plan. A tree or plant material that dies or is damaged shall be replaced within 4 months so as to meet all requirements of this section and to allow for planting in the appropriate planting season.  
(b) All shrubs and trees shall be kept trimmed and pruned in accordance with horticultural standards. Ground cover shall be maintained to protect tree roots and to prevent erosion.  
(c) Steps shall be taken to control weeds, grasses, and rodents.  
(d) Landscaped areas shall be kept free of litter and debris.  
(e) All trees, shrubs, and ground cover shall be maintained in a manner that will not affect vehicular or pedestrian movement or the operation and maintenance of existing apparatuses, devices, or systems.  
(f) All fences and walls shall be kept in good repair. Any fence or wall that is damaged, destroyed or becomes discolored shall be immediately repaired or replaced in accordance with the approved landscape plan.  
(g) Whenever the conditions of this section are not met, the property owner will be notified in writing and given the required time period to comply with the approved landscape plan. If compliance is not met within the required time period, the owner shall be in violation of this subchapter.

**IRRIGATION:**  
An automatic irrigation system with an equipped rain/freeze sensor must be provided for all required landscape areas.

**INSTALLATION SCHEDULE:**  
Required landscape and irrigation shall be installed tentatively in the summer of 2022.

- (1) LULM ALL 3 gal
- (12) ABE SHE 3 gal
- (2) LIR ROY 1 gal
- (1) LULM ALL 8 & B
- (2) LULM ALL 8 & B
- (5) ABE SHE 3 gal
- (2) SPR FLA 3 gal
- (11) LIR ROY 1 gal
- (9) ABE SHE 3 gal
- (5) ABE SHE 3 gal
- (13) LIR ROY 1 gal
- PROP. # SIDEWALK

**PLANT SCHEDULE**

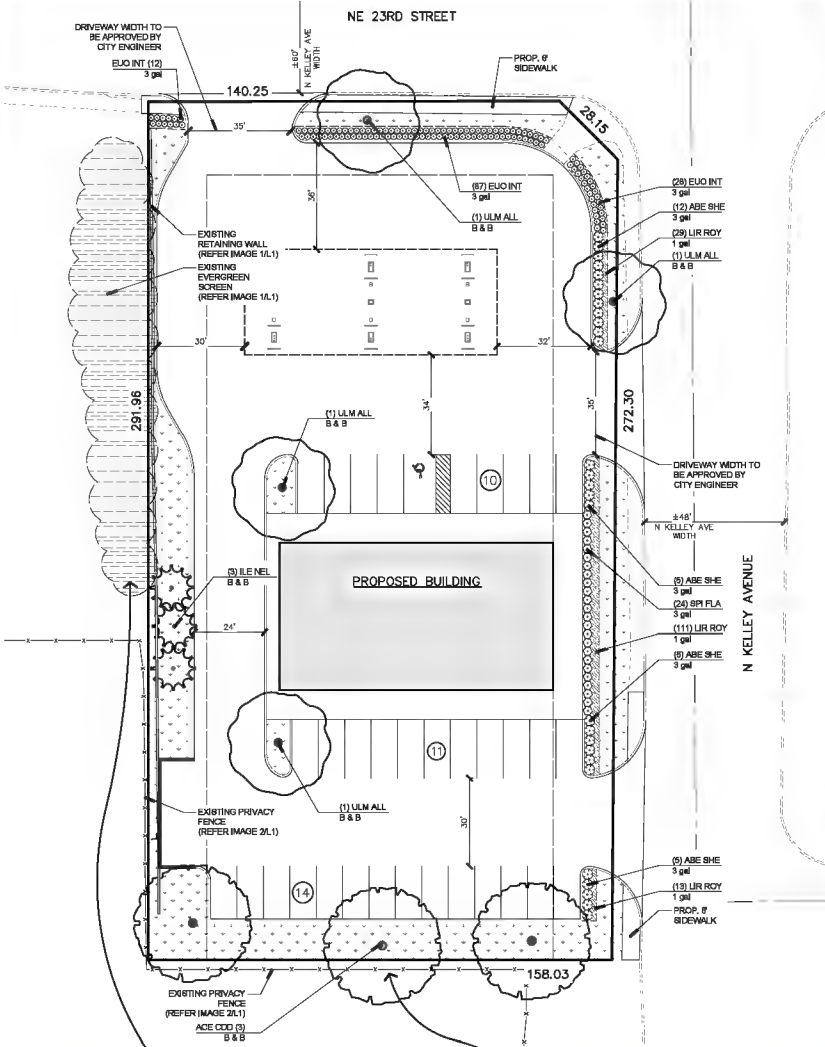
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	ACE ODD	3	Acer saccharum 'Caddo' / Caddo Sugar Maple	B & B	2.5" cal, 6' ht. min.
	LLE NEL	3	Ilex x 'Nella R. Stevens' / Nella R. Stevens Holly (Tree-Form)	B & B	2" cal, 6' ht. min.
	LULM ALL	4	Ulmus parviflora 'Alma' / Alma Lacebark Elm	B & B	2.5" cal, 6' ht. min.

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	ABE SHE	28	Abelia x grandiflora 'Shawwood' / Shawwood Glossy Abelia	3 gal	42" o.c.
	EJO INT	127	Euroyamus fortunei 'Intrepidus' / Mintarocasper	3 gal	24" o.c.
	SPR FLA	24	Spiraea japonica 'Nipon Flash' / Nipon Flash Japanese Spiraea	3 gal	36" o.c.

SPERMATOPHYTES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	CYN DAC	6,885 of	Cynodon dactylon / Bermuda Grass	soil	n/a
	LIR ROY	153	Liriodendron 'Royal Purple' / Royal Purple Liriodendron	1 gal	18" o.c.

\*Plant & material quantities are provided to help bidding.  
Contractor responsible for verifying exact quantities  
concerning on bid.

REFER TO SHEET LS FOR PLANTING NOTES



1 EXISTING CONDITIONS IMAGE



2 EXISTING CONDITIONS IMAGE



**State of Oklahoma  
Capitol-Medical Center Improvement  
and Zoning Commission**

P.O. Box 53448  
Oklahoma City, OK 73152-3448  
Phone: 405-522-0440 Fax: 405-522-3861

**Application for Sign Permit**

<http://omes.ok.gov/boards-commissions/capitol-medical-center-improvement-and-zoning-commission>

Read Rules: OAC 120:10-15

I (we), the undersigned owners of the following described property, respectfully make application to the Capitol-Medical Center Improvement and Zoning Commission to request the addition, demolition, or alteration of signage on the property. In support of the application, the following facts are shown:

**Nature of Signage Request (select all that apply)**

Installation     Demolition     Alteration     Permanent     Temporary

**Location of Property (Address) and Legal Description:**

950 NE 23rd St	Oklahoma City	73105
Address	City	ZIP Code
STATE CAPITOL	1	1-12 (less & except)
Addition	Block	Lot(s)

Legal Description (unplatted land only): \_\_\_\_\_

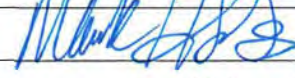
**Signage**

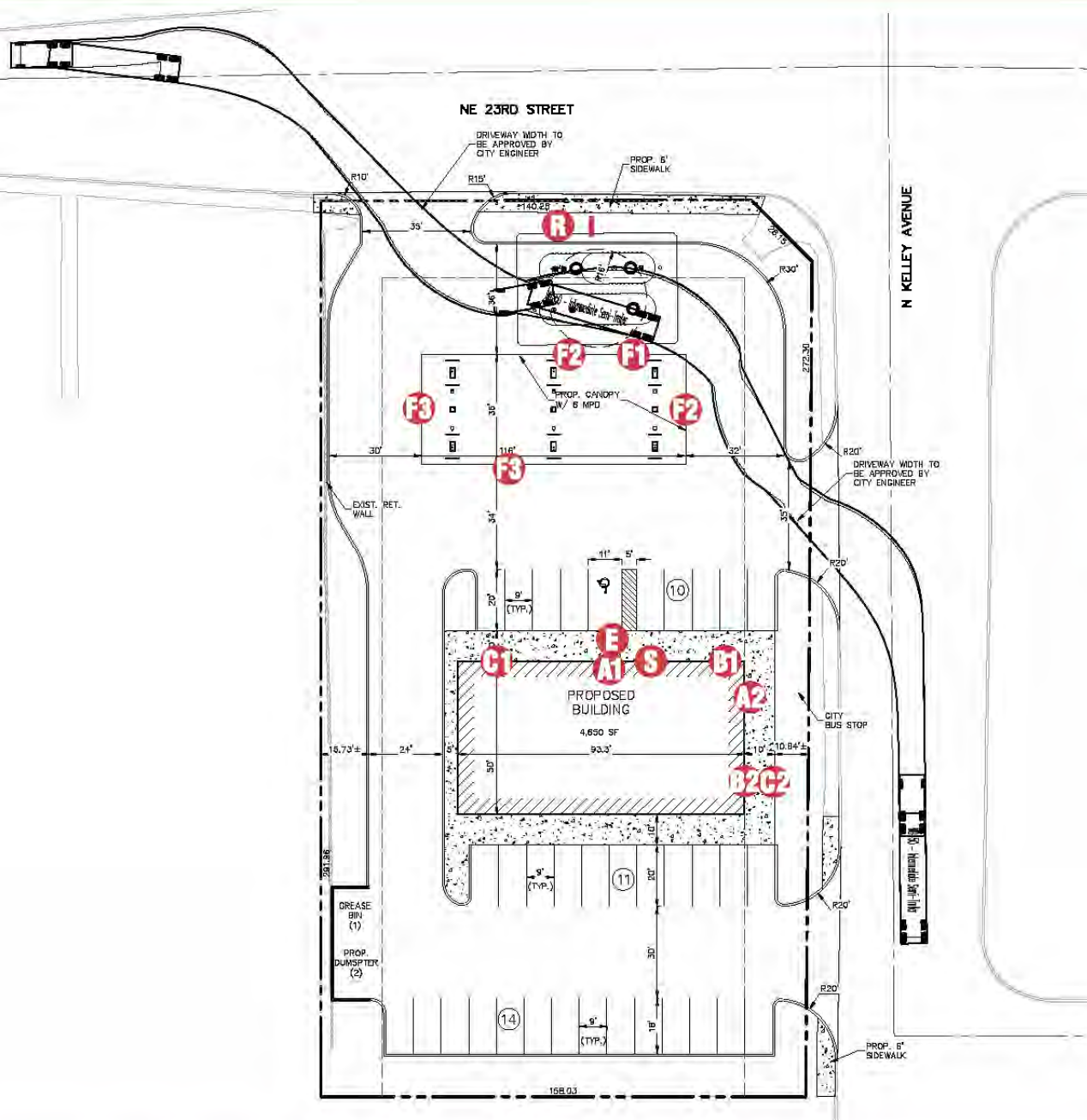
#	Type	Size	Material(s)	Method of Installation
1.	pylon	_____	see attached	see attached
2.	wall	see attached	"	"
3.	canopy	see attached	"	"

Probable Date of Completion: April 2022 Estimated Cost: N/A

If signs are temporary what will the dates of display? N/A

Will the signs be illuminated? Yes If so, how? Internally by LED's

Applicant Signature (owner/agent): 		
1800 S Sara Rd	Yukon, OK 73099	
Street Address	City	ZIP Code
405-265-0641	mark.grubbs@gc-okc.com	
Phone number	Email	



PRODUCT LIST		
SQ. FT.	QTY	ITEM
<b>EXTERIOR BUILDING SIGNS</b>		
A1	45	1 SF KEYSTONE WALL SIGN
A2	38.2	1 7' WALL CHANNEL LOGO
B1	53.1	1 8'-6" LAREDO TACO WALL SIGN
B2	30.8	1 3' LAREDO TACO WALL SIGN
C1	49.1	1 5'-9" RAISE THE ROOST WALL SIGN
C2	42.3	1 3' RAISE THE ROOST WALL SIGN
E	3	1 WELCOME LETTERS
S	N/A	1 CHANNEL STRIPES SET
<b>REFACE &amp; REPAINT EXISTING</b>		
R	TBD	1 EXISTING PYLON SIGN (6 FACES)
<b>FUEL CANOPY FASCIA SIGNS &amp; DECORATION</b>		
F1	34.7	1 CHANNEL LETTER SET
F2	N/A	2 CHANNEL STRIPES SETS
F3	N/A	2 VINYL STRIPES SETS (BY OTHERS)

**PROPOSED: 150.2 SF**  
**ALLOWED: 305 SF**

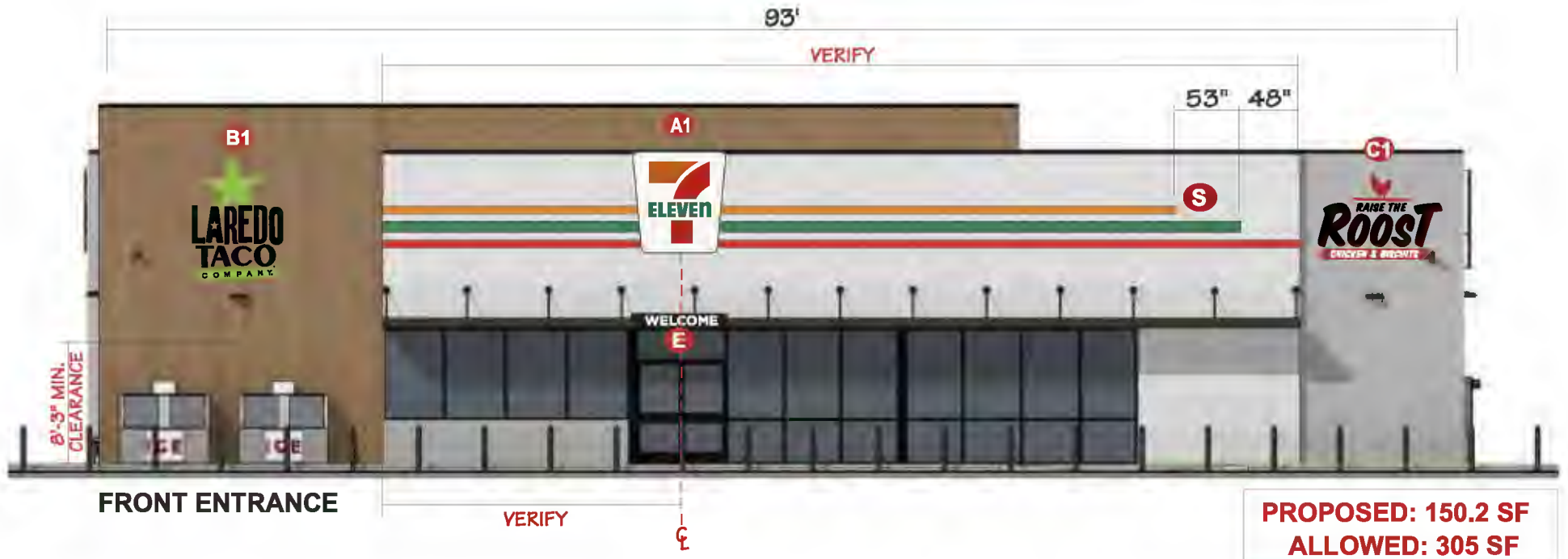


Job Location: 950 NE 23rd St.,  
 Oklahoma City, OK 73105



D-ORDER# 105973.02  
 Project Mgr.: Hannah McMillion  
 hannah.mcmillion@cummingsigns.com  
 Page: 1 of 16

Date: March 17, 2021



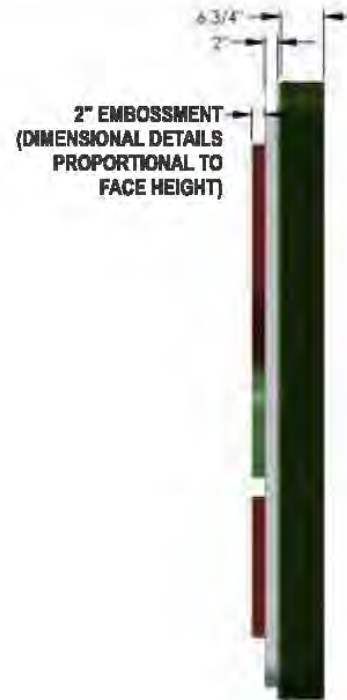
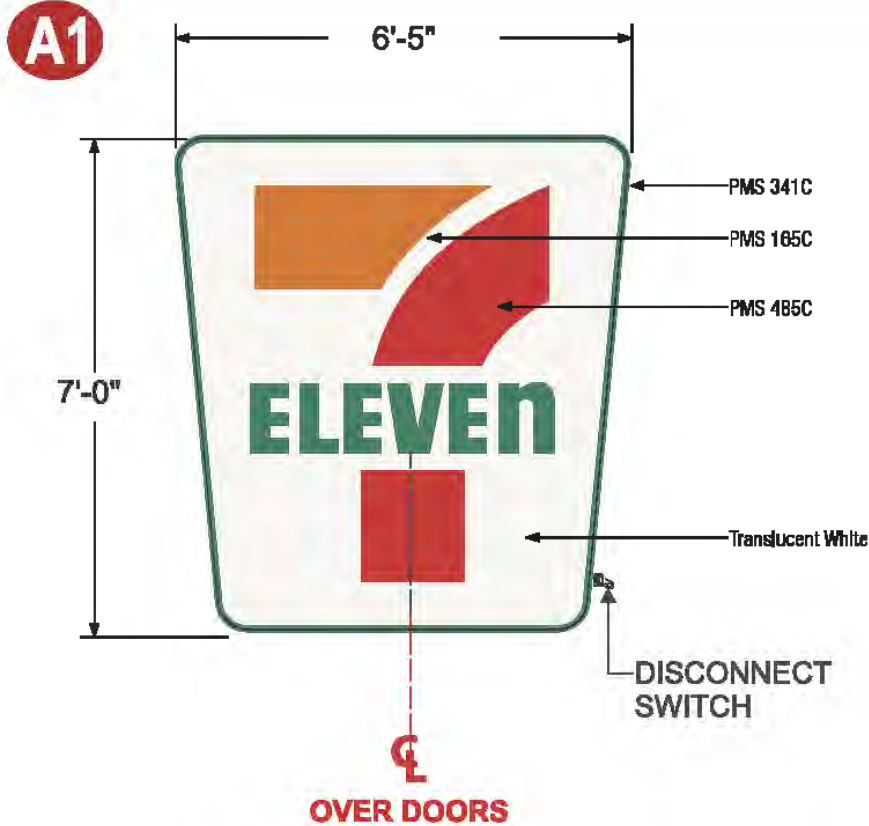


LEFT SIDE

**PROPOSED: 111.3 SF**  
**ALLOWED: 305 SF**



RIGHT SIDE



150 VIEW\* NOT TO SCALE - FOR REFERENCE ONLY

EXTRUDED ALUM. CABINET, RETAINERS TO BE PAINTED GREEN TM PMS 341C ILLUMINATED WITH G.E. WHITE LEDS.

FACE—.150" PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.

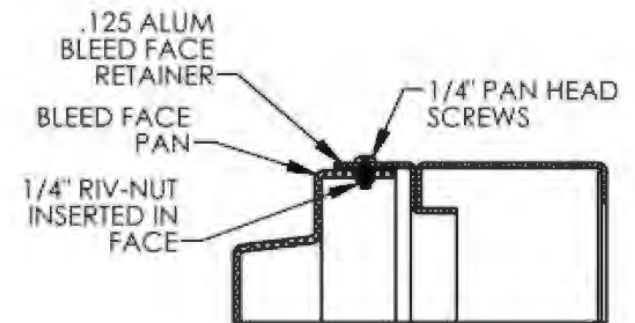
**ELECTRICAL NOTES:**

TOTAL AMPS - 2.4 A  
 TOTAL CIRCUITS - 1 20A REQUIRED  
 VOLTS - 120 V

THIS SIGN WILL BE UL OR cUL LISTED AND IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN  
 \*\*φ 1/4" DRAINAGE/WEEP HOLES @ 4' ON CENTERS OR AS REQUIRED BY UL  
 MIN 12 MTW/THHN 1011/1015/1230/1335 600V or 1032 1000V 105C WIRE

PER UL REQUIREMENT, ALL ELECTRICAL COMPONENTS AND WIRING MUST BE FIXED AND SUPPORTED A MINIMUM OF .5" ABOVE THE BOTTOM OF SIGN.

- 3630-33
- 3630-44
- WHITE
- 3630-26



**Display Square Footage (Cabinet): 45**

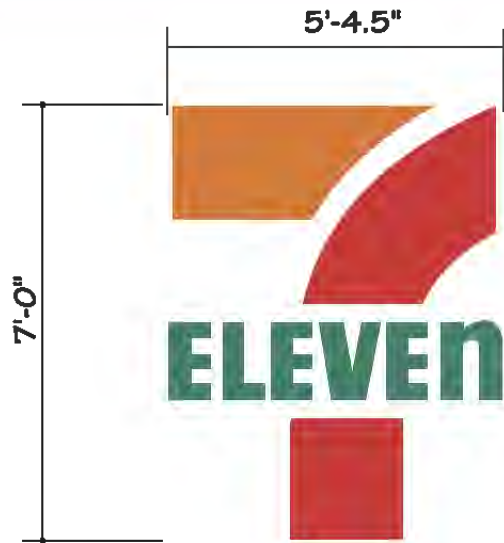
**Job Location: 950 NE 23rd St.,  
 Oklahoma City, OK 73105**



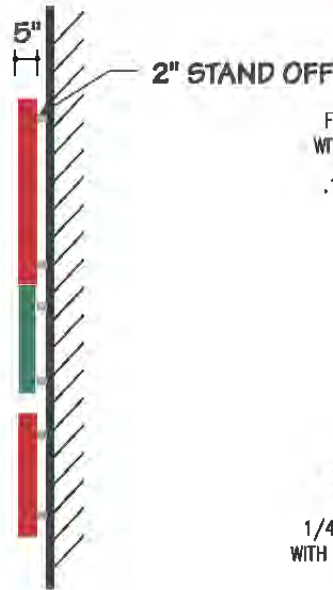
**D-ORDER# 105973.02**  
**Project Mgr.: Hannah McMillion**  
 hannah.mcmillion@cummingsigns.com  
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**Date: March 17, 2021**

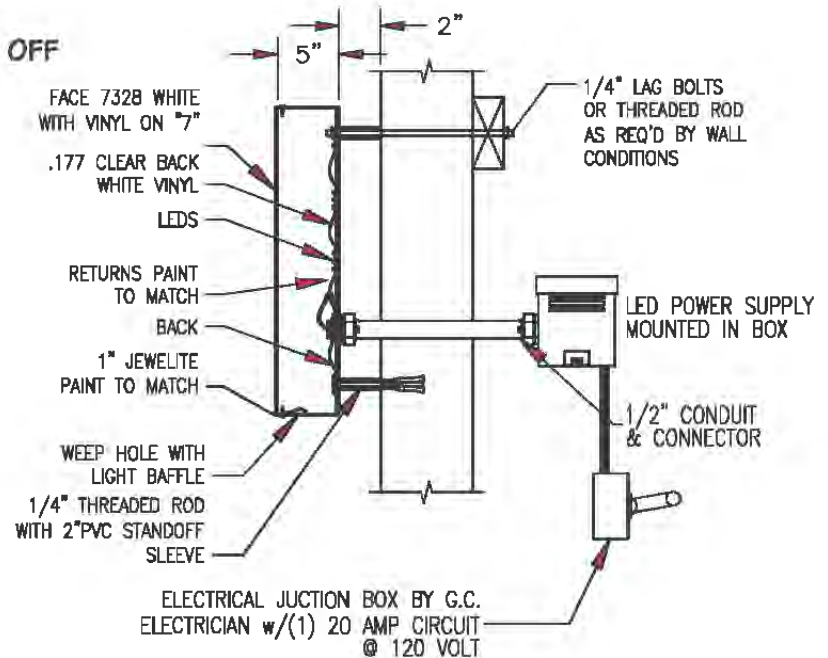
**A2**



**FRONT VIEW**



**SIDE VIEW**



**REMOTE LED CHLL LTR CROSS SECTION**  
SCALE: NTS (REFERENCE ONLY)  
EQUIPMENT GROUNDED

COLOR NOTES:

BACKS: PH517000 CLEAR,.177 WITH PY711400 FILM,3M,#3635-30 WHITE  
 FACES: (1) PART OF "7" PH517080 WHITE,.177,(7328) WITH PY711050 FILM,3M,#3630-44 ORANGE  
 FACES: (2,3) PARTS OF "7" PH517080 WHITE,.177,(7328) WITH PY711035 FILM,3M,#3630-33 RED  
 FACES: "ELEVEN" PH517080 WHITE,.177,(7328) 3630-26GREEN VINYL - PY711030  
 JEWELITE: XC200110 JEWELITE,1 X 1/4,WHITE PAINT TO MATCH RETURN  
 RETURNS: CY890050 .050 X 5.33" MILL FINISH PAINT TO MATCH FACE COLOR  
 LED: EN400281 GE2/GEMM2471-W1

GENERAL NOTES:

SECURE THE TRIM CAP TO THE LETTER RETURN WITH AT LEAST (4) #8 SCREWS SPACED NO GREATER THAN  
 (A) 12" IF RETURN IS AT LEAST .031" THICK & LESS THAN .050" THICK  
 (B) 24" IF RETURN IS EQUAL TO OR GREATER THAN .050" THICK  
 ATTACH TO WALL WITH LAG SCREWS OR THREADED ROD AS REQUIRED BY WALL CONDITIONS

ELECTRICAL NOTES:

TOTAL AMPS - 2.2A  
 TOTAL CIRCUITS - 1 20A REQUIRED  
 VOLTS - 120V

THIS SIGN WILL BE UL OR cUL LISTED AND IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. ø1/4" DRAIN ø 4" ON CENTERS OR AS REQUIRED BY UL. MIN 12 MTW. PER UL REQUIREMENT, ALL ELECTRICAL COMPONENTS AND WIRING MUST BE FIXED & SUPPORTED A MINIMUM OF 1/2" ABOVE THE BOTTOM OF SIGN. WARNING LABELS TO BE VISIBLE DURING INSTALL/AVAILABLE AFTER INSTALLATION



**Display Square Footage : 38.2**

**Job Location: 950 NE 23rd St.,  
Oklahoma City, OK 73105**



**D-ORDER# 105973.02**  
**Project Mgr.: Hannah McMillion**  
 hannah.mcmillion@cummingsigns.com  
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**Date: March 17, 2021**

# 8'-6" CHANNEL LOGO & LETTER SET (HALO)

## NOTES:

1. LAREDO TACO LOGO: 1 1/4" DEEP FLUSH FACE, HALO AND **OPAQUE SIDES** TO BE MOUNTED TO THE BUILDING FACADE.
2. FACE OF THE LOGO TO BE PAINTED.
3. NO JEWELITE ATTACHED TO THE LOGO.
4. RETURNS TO BE FROSTED ACRYLIC **OPAQUE SIDES**
5. PRIMARY ELECTRICAL TO BE STUBBED OUT BY GC PRIOR TO INSTALLATION.

## Color Legend

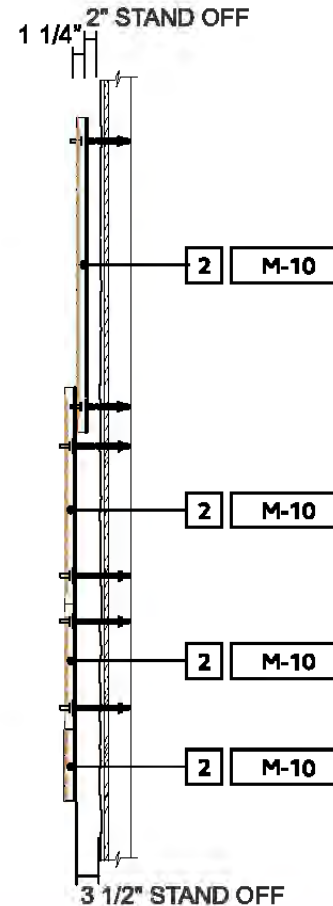
Color Code and Swatch	Match Color
P-05	Paint to match PMS Black
P-06	Paint to match PMS 376

## Material Legend

Material Code	Match Spec
M-09	Aluminum
M-10	Acrylic



HALO ILLUM.  
CHANNEL LETTER FORMS  
SIDES TO BE OPAQUE



Display Square Footage : 53.1

Job Location: 950 NE 23rd St.,  
Oklahoma City, OK 73105

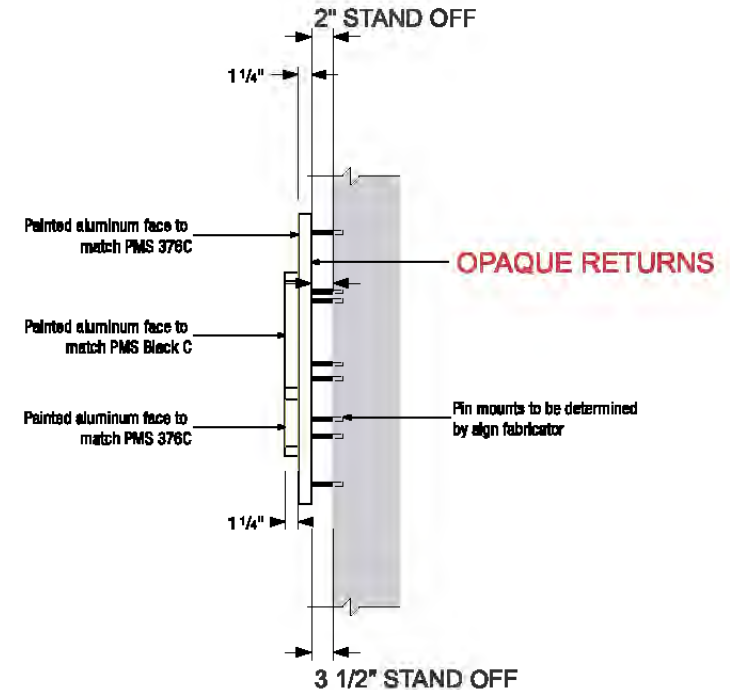
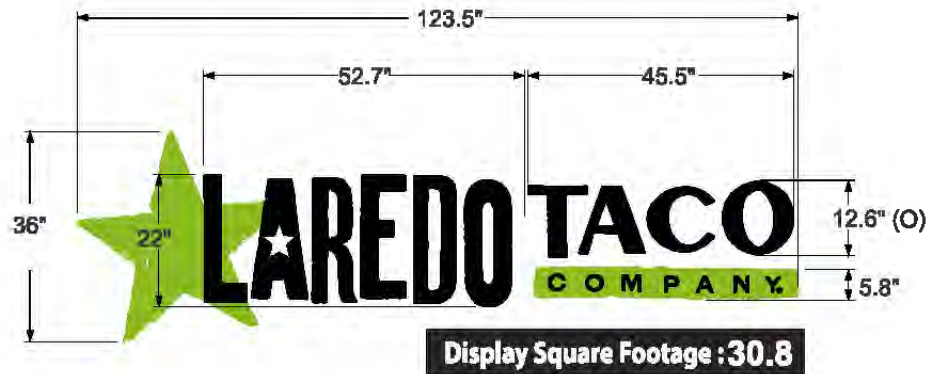
Date: March 17, 2021



D-ORDER# 105973.02  
Project Mgr.: Hannah McMillion  
hannah.mcmillion@cummingsigns.com  
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B2



**NOTES:**

- LAREDO TACO LOGO: 1 1/4" DEEP FLUSH FACE, HALO AND OPAQUE SIDES TO BE MOUNTED TO THE BUILDING FACADE.**
- FACE OF THE LOGO TO BE PAINTED.**
- NO JEWELITE ATTACHED TO THE LOGO.**
- RETURNS TO BE FROSTED ACRYLIC OPAQUE SIDES**
- PRIMARY ELECTRICAL TO BE STUBBED OUT BY GC PRIOR TO INSTALLATION.**

**Color Legend**

Color Code and Swatch	Match Color
P-05	Paint to match PMS Black
P-06	Paint to match PMS 376

**Material Legend**

Material Code	Match Spec
M-09	Aluminum
M-10	Acrylic

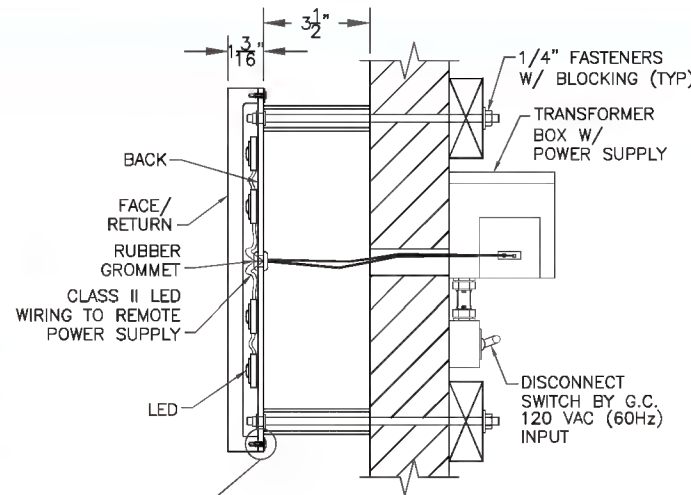
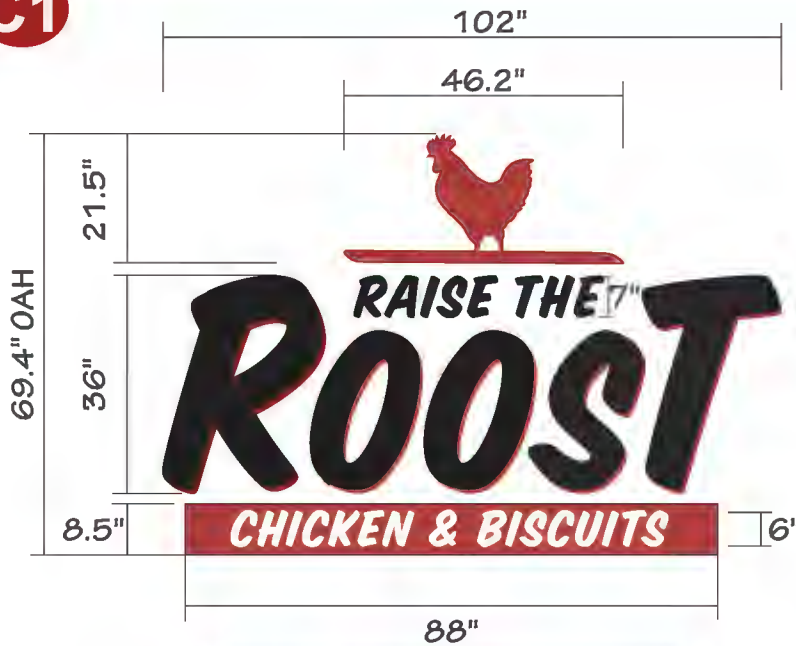
Job Location: 950 NE 23rd St.,  
Oklahoma City, OK 73105



D-ORDER# 105973.02  
Project Mgr.: Hannah McMillion  
hannah.mcmillion@cummingsigns.com  
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Date: March 17, 2021

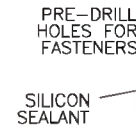
C1



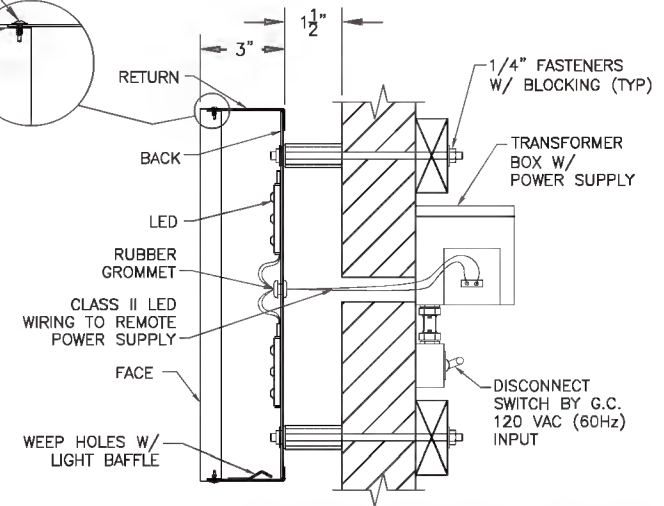
LOGO & 'RAISE THE ROOST'  
SECTION DETAIL  
EQUIPMENT GROUNDED  
NOT TO SCALE



PRE-DRILL HOLES FOR FASTENERS



PRE-DRILL HOLES FOR FASTENERS  
SILICON SEALANT



TAGLINE SECTION DETAIL  
EQUIPMENT GROUNDED  
NOT TO SCALE

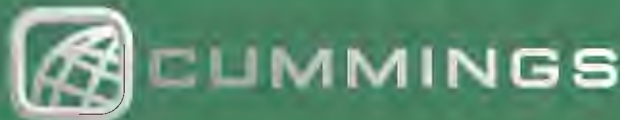
**ROUTED ACRYLIC HALO ILLUMINATED LETTER SET.**

- LOGO TO BE HALO ILLUMINATED
- "RAISE THE" & "ROOST" COPY TO BE HALO ILLUMINATION.
- RED ACCENTS ON "ROOST" TO BE FACE ILLUMINATED.
- CLEAR ACRYLIC WITH CAVITY ROUTED FROM BACK.
- RETURNS - OPAQUE
  - 3630-53 (PMS 2350 CP)
  - WHITE
  - BLACK
- CHICKEN & BISCUITS TO BE FACE & HALO ILLUMINATED.

**Display Square Footage : 49.1**

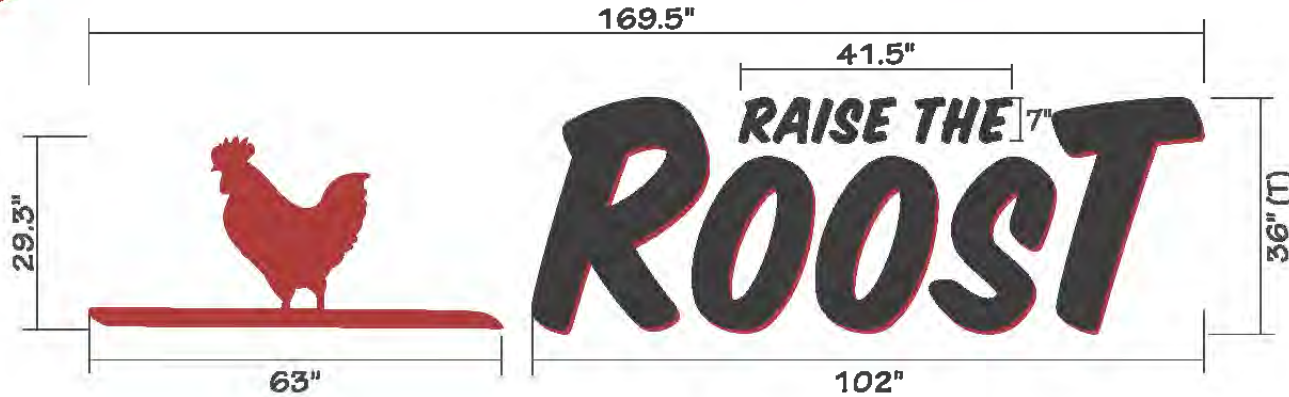
Job Location: 950 NE 23rd St.,  
Oklahoma City, OK 73105

Date: March 17, 2021



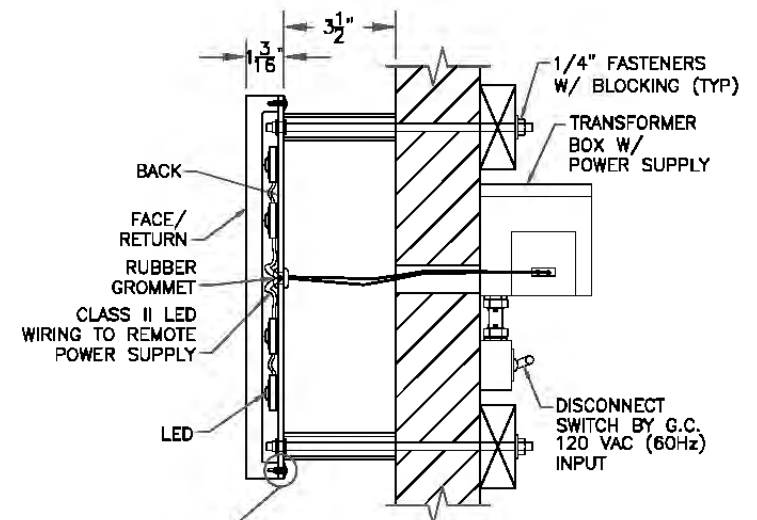
D-ORDER# 105973.02  
Project Mgr.: Hannah McMillion  
hannah.mcmillion@cummingsigns.com  
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C2

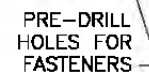


**ROUTED ACRYLIC HALO ILLUMINATED LETTER SET.**

- LOGO TO BE HALO ILLUMINATED
  - "RAISE THE" & "ROOST" COPY TO BE HALO ILLUMINATION.
  - RED ACCENTS ON "ROOST" TO BE FACE ILLUMINATED.
  - CLEAR ACRYLIC WITH CAVITY ROUTED FROM BACK.
  - RETURNS - OPAQUE
- 3630-53 (PMS 2350 CP)  
 WHITE  
 BLACK



LOGO & "RAISE THE ROOST" SECTION DETAIL  
EQUIPMENT GROUNDED  
NOT TO SCALE



PRE-DRILL HOLES FOR FASTENERS

**Display Square Footage : 42.3**

Job Location: 950 NE 23rd St.,  
Oklahoma City, OK 73105

Date: March 17, 2021



D-ORDER# 105973.02  
Project Mgr.: Hannah McMillion  
hannah.mcmillion@cummingsigns.com  
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**E**

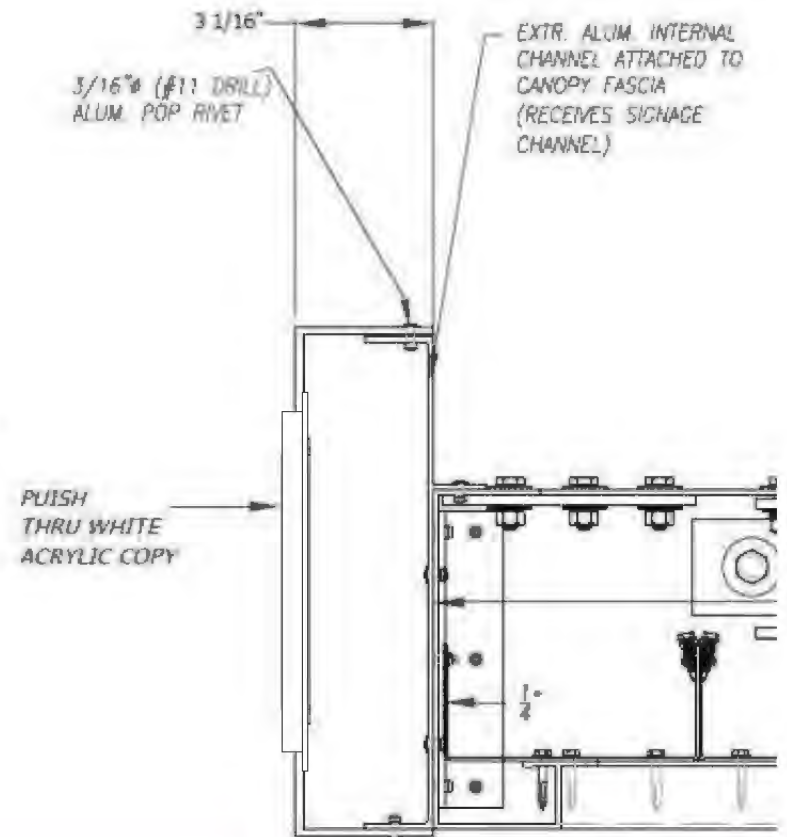


CANOPY FASCIA SECTION PROVIDED BY MAPES. SHIPPED TO SIGN PROVIDER TO BE ROUTED OUT FOR INSTALLATION OF COPY. COPY TO BE WHITE ACRYLIC FOR PUSH THRU APPLICATION. LED KIT INCLUDED FOR ILLUMINATION.

**REQUIRES 12" MAPES FASCIA KIT:**

1. MAPES TO SHIP FASCIA KIT, LESS SIGN PANEL TO G.C.
2. MAPES TO SHIP SIGN PANEL TO APPROVED SIGN MANUFACTURER.
3. APPROVED SIGN MANUFACTURER TO ROUTE OUT COPY ARE IN PROVIDED PANEL, PROVIDE AND INSTALL COPY FOR PUSH THRU APPLICATION.
4. APPROVED SIGN MANUFACTURER TO SHIP PANEL WITH COPY INSTALLED WITH SITE PRODUCT FOR INSTALLATION.

**MAPES CONTACT:**  
 KENDALL FRANTZ  
 NATIONAL ACCOUNT DEVELOPMENT  
 888.273.1132  
 nationalaccounts@mapes.com



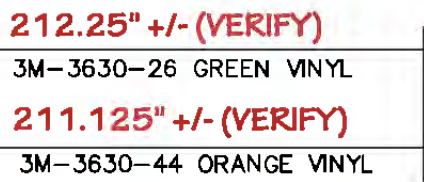
**Display Square Footage : 3**

**Job Location:** 950 NE 23rd St.,  
 Oklahoma City, OK 73105

**Date:** March 17, 2021



**D-ORDER# 105973.02**  
**Project Mgr.:** Hannah McMillion  
 hannah.mcmillion@cummingsigns.com  
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415.7" +/- (VERIFY)

3M-3630-26 GREEN VINYL

361.5" +/- (VERIFY)

3M-3630-44 ORANGE VINYL

53"

48"



3M-3630-33 RED VINYL

465" +/- (VERIFY)

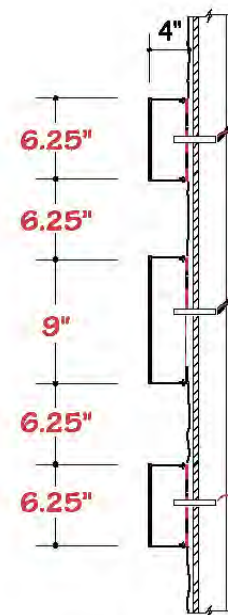
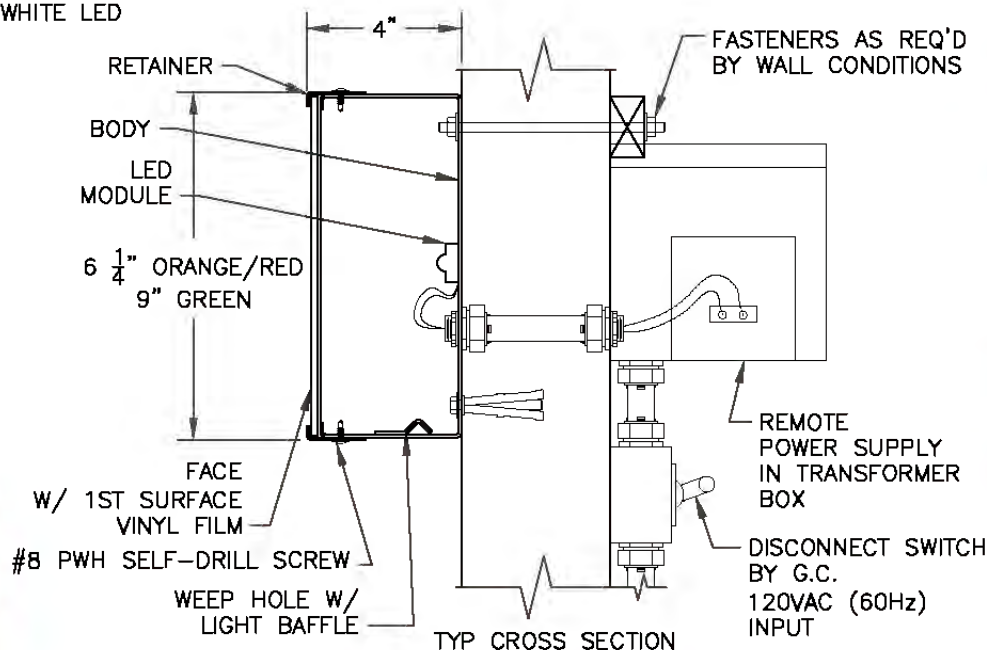
**COLOR NOTES:**

FACE - .177" 7328 WHITE POLYCARBONATE W/ 1ST SURFACE VINYL  
 RED: 3M 3630-33, ORANGE: 3M 3630-44, GREEN: 3M 3630-26  
 STRIPE BODY, RETAINER, ENDCAP, SCREWS - PAINT TO MATCH FACE  
 RED: PMS 485C, ORANGE: PMS 021C, GREEN: PMS 349C  
 ILLUMINATION - FACE LIT WITH GEMX2471-W1 WHITE LED



- DIMENSIONS
- COLORS
- MATERIAL
- MOUNTING TYPE
- OTHER \_\_\_\_\_

**STRIPE LENGTH SIZES SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. ESTIMATES PROVIDED BASED ON THE ABOVE SIZES ARE ALSO SUBJECT TO CHANGE. FIELD SURVEY REQUIRED PRIOR TO MANUFACTURING.**



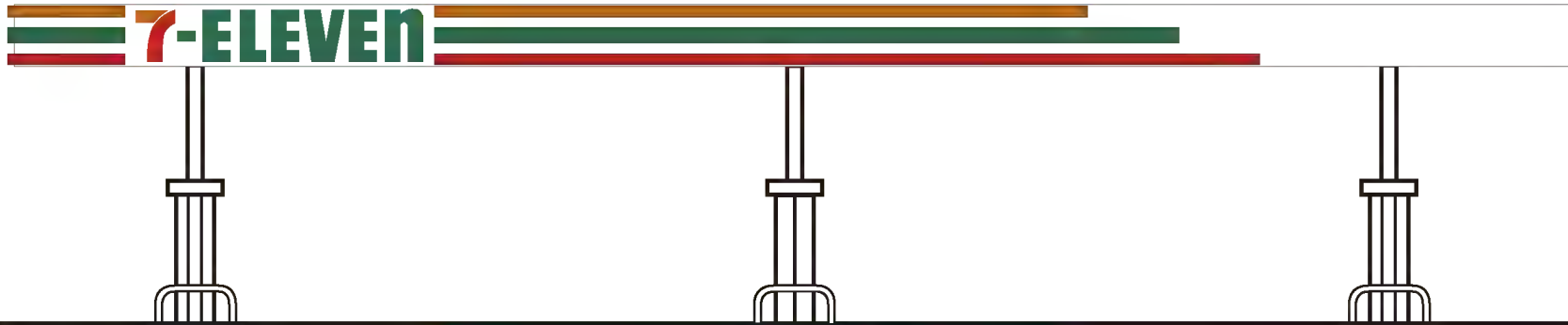
**TRI-STRIPE BAND SET**

**Job Location:** 950 NE 23rd St.,  
Oklahoma City, OK 73105

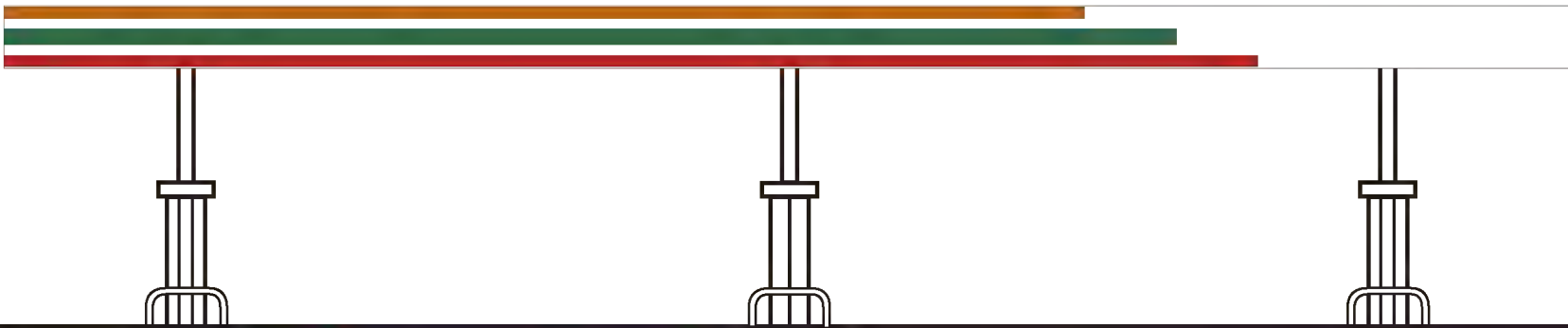
**Date:** March 17, 2021



**D-ORDER# 105973.02**  
**Project Mgr.: Hannah McMillion**  
 hannah.mcmillion@cummingsigns.com  
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**FRONT (FACING NE 23RD ST.) - ILLUMINATED LETTERS & STRIPES BY CUMMINGS**



**REAR (FACING STORE) - VINYL STRIPES BY OTHERS**



**LEFT SIDE (FACING N. KELLEY AVE.)  
- ILLUMINATED STRIPES BY CUMMINGS**

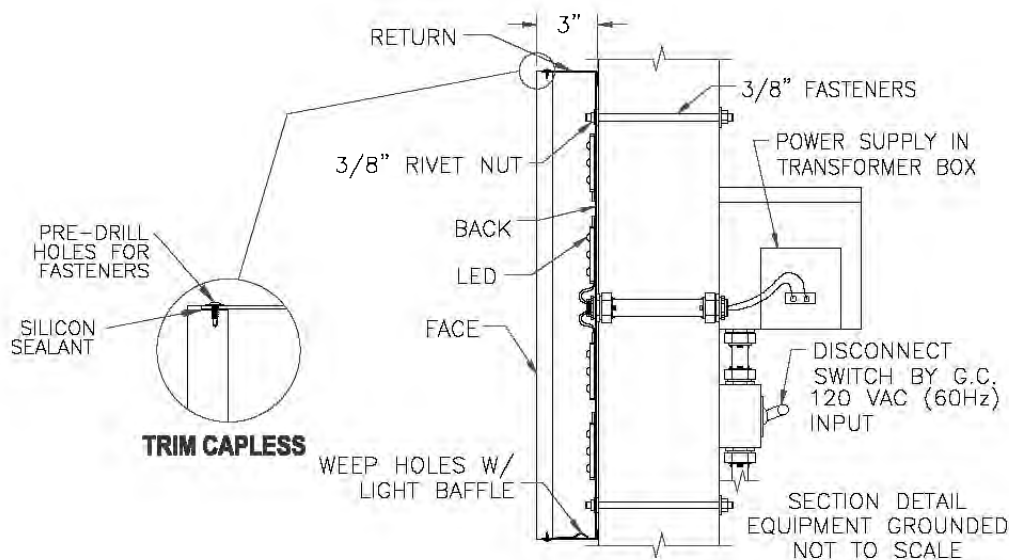


**RIGHT SIDE - VINYL STRIPES BY OTHERS**

F1



34.7 SQ. FT.



**COLOR NOTES:**  
 (PAINT INTERIOR SURFACES OF LETTERS W/ LEP)  
 BACKS: 3mm WHITE ACM  
 FACES: .750" PLAIN CLEAR ACRYLIC  
 W/1ST SURFACE TRANSLUCENT VINYL:  
 "7": TOP OF "7" ORANGE 3630-44,  
 BOTTOM OF "7" 3630-33 RED, WHITE STRIPE  
 "- ELEVEN": 3630-26 GREEN  
 2ND SURFACE: 3635-30 WHITE DIFFUSER  
 RETURNS: .040" X 3.3" ALUMINUM COIL,  
 PAINT TO MATCH FACE COLORS:  
 PMS 021 ORANGE, PMS 485 RED & PMS 349 GREEN  
 TRADEMARK: .125" ALUM, PAINTED WHITE  
 W/ 3630-26 GREEN FILM  
 ILLUMINATION: FACE LIT WITH GE GEMX2471-1 WHITE LEDS

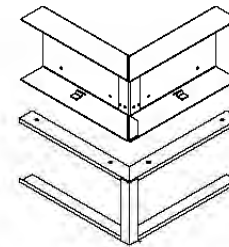
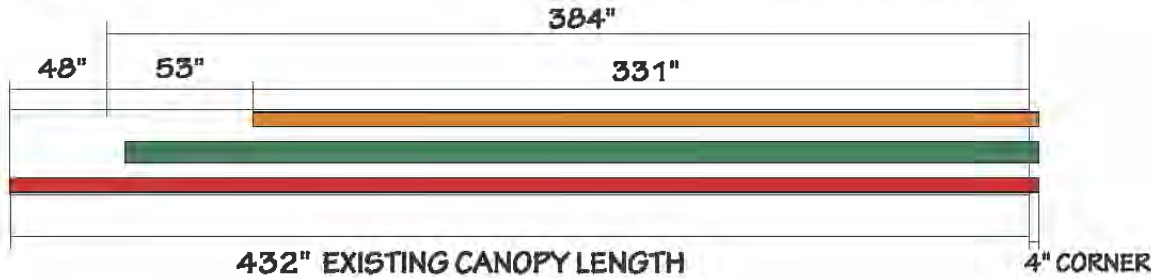
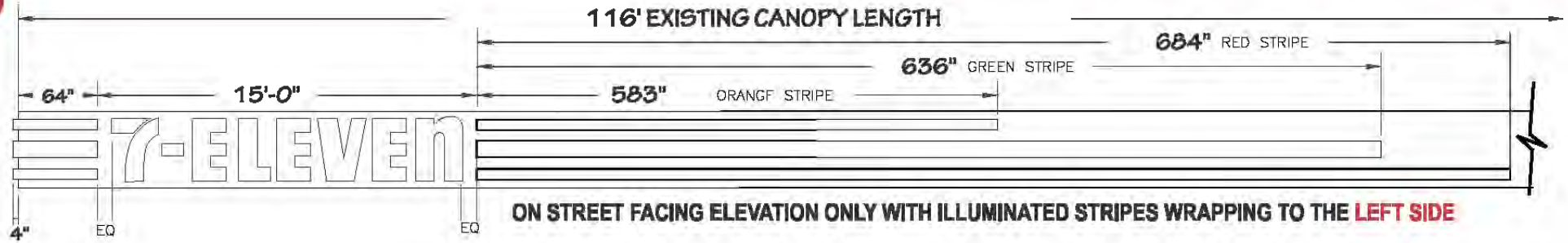
Job Location: 950 NE 23rd St.,  
 Oklahoma City, OK 73105

Date: March 17, 2021

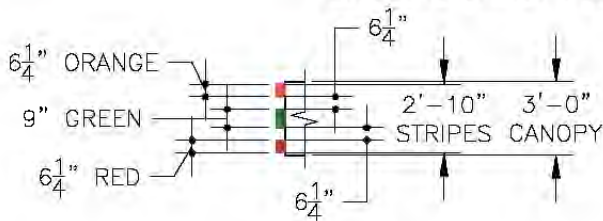


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 Project Mgr.: Hannah McMillion  
 hannah.mcmillion@cummingsigns.com  
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**F2**



**TRI-STRIPE CORNER SECTION**



**COLOR NOTES:**

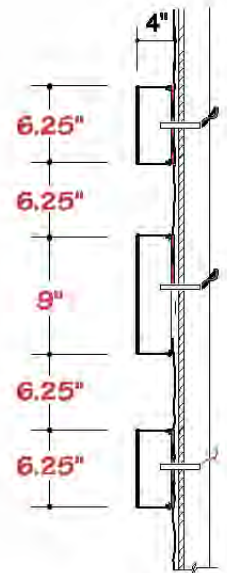
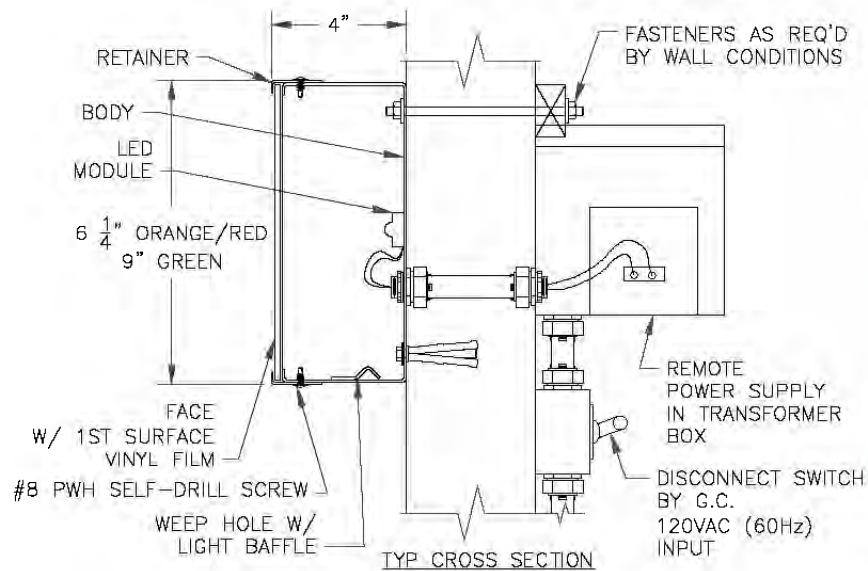
- FACE - .177" 7328 WHITE POLYCARBONATE W/ 1ST SURFACE VINYL
- RED - 3M 3630-33
- ORANGE - 3M 3630-44
- GREEN - 3M 3630-26
- STRIPE BODY, F-RETAINER, SCREWS - PAINT TO MATCH FACE
- RED - PMS 485
- ORANGE - PMS 021
- GREEN - PMS 349
- ILLUMINATION - FACE LIT WITH GEMX2471-W1 WHITE LED

**GENERAL NOTES:**

SHIPPING LIST - SEE SHEET #2

**ELECTRICAL NOTES:**

- TOTAL AMPS - 3.3 A
- TOTAL CIRCUITS - 1 20A REQUIRED
- VOLTS - 120V-277V



**TRI-STRIPE BAND SET**

**Job Location:** 950 NE 23rd St.,  
Oklahoma City, OK 73105

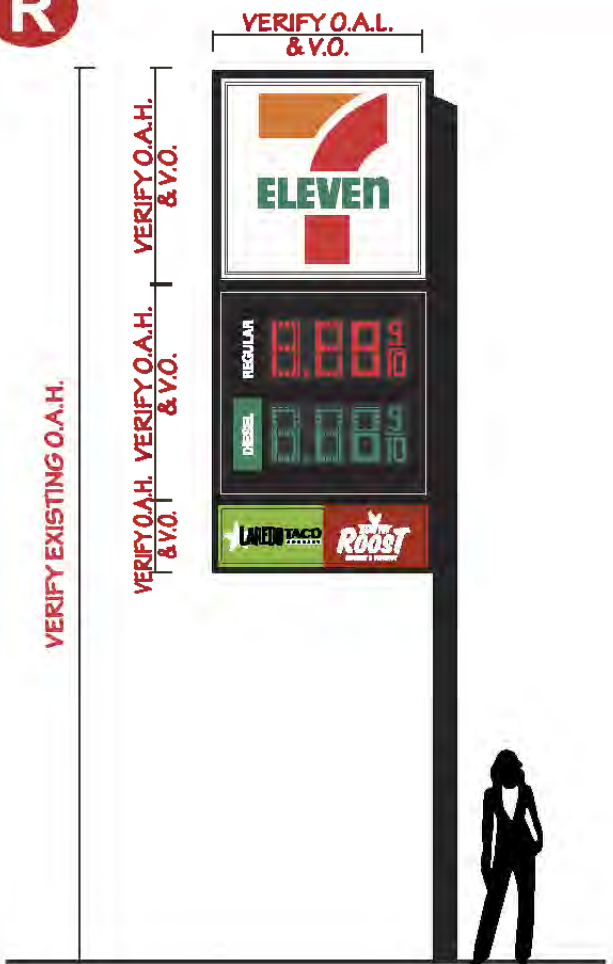


**D-ORDER# 105973.02**  
**Project Mgr.: Hannah McMillion**  
hannah.mcmillion@cummingsigns.com  
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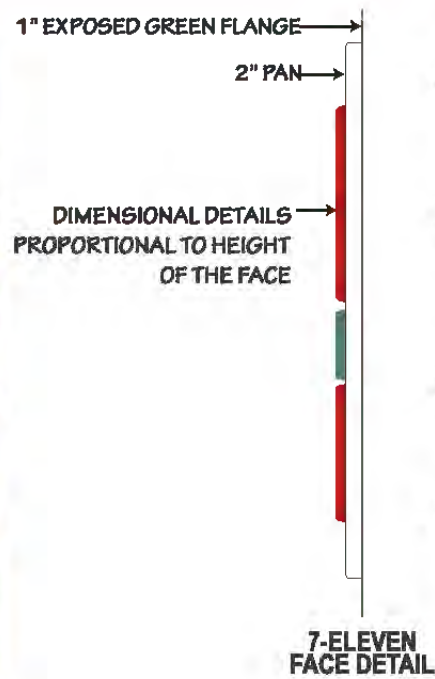
**Date:** March 17, 2021



**R**



EXISTING DF SIGNS TO BE REFACED WITH NEW FACES. ALL EXISTING CABINETS, RETAINERS & POLE TO BE REPAINTED TRICORN BLACK.



**REPLACEMENT FACES**

**7-ELEVEN FACES**

- PAN-FORMED & EMBOSSED POLYCARBONATE FACES W/1ST SURFACE DECORATION

**FUEL PRICE FACES**

- PAN-FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED BLACK WITH WHITE COPY & 18" (TBD) RED & GREEN DIGITS (PWM)

**LTC & RTR SHARED FACES**

- PAN-FORMED WHITE POLYCARBONATE FACES W/1ST SURFACE FLAT DECORATION

**EXISTING POLE, CABINETS & RETAINERS**

- RE-PAINTED TRICORN BLACK SW 6258

**7-ELEVEN COLORS**

- 3M 3630-26 (Green)
- 3M 3630-33 (Red)
- 3M 3630-44 (Orange)
- WHITE

**LAREDO TACO COLORS**

- GREEN PMS 376
- WHITE
- BLACK

**RAISE THE ROOST COLORS**

- 3630-53 RED
- WHITE
- BLACK



- DIMENSIONS
- COLORS
- MATERIAL
- MOUNTING TYPE
- OTHER

**SURVEY REQUIRED**

- VERIFY EXISTING SIGN SIZES & VISIBLE OPENINGS (V.O.)
- VERIFY EXISTING OVERALL HEIGHT (O.A.H.)
- VERIFY EXISTING CABINET DEPTHS
- VERIFY EXISTING POLE SIZE

Job Location: 950 NE 23rd St.,  
Oklahoma City, OK 73105



D-ORDER# 105973.02  
Project Mgr.: Hannah McMillion  
hannah.mcmillion@cummingsigns.com  
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Date: March 17, 2021

**OKLAHOMA CITY WALL SIGNAGE CHART**

Building Width in Feet	Building Setback			
	0—24.99	25—39.99	40—59.99	60 or more
less than 25	60 sq. ft. sign	70 sq. ft. sign	80 sq. ft. sign	85 sq. ft. sign
25—35.99	95	115	125	135
36—45.99	130	155	170	180
46—55.99	165	200	215	230
56—65.99	200	240	260	280
66—75.99	235	280	305	330
76—85.99	270	325	350	380
86—95.99	305	365	400	430
96—105.99	340	410	440	475
106—115.99	375	450	490	525
116—124.99	410	490	530	570
Over 125	445 sq. ft. sign	535 sq. ft. sign	580 sq. ft. sign	625 sq. ft. sign

**Job Location:** 950 NE 23rd St.,  
Oklahoma City, OK 73105

**Date:** March 17, 2021



**D-ORDER# 105973.02**  
**Project Mgr.: Hannah McMillion**  
hannah.mcmillion@cummingsigns.com  
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03/17/2021



328 SOUTH LEWIS AVENUE  
TULSA, OKLAHOMA 74105-6588  
OFFICE: 924.744.9583

CERTIFICATE OF AUTHORIZATION NO. OK CA 02897 EXP. 8/30/2021

LANDSCAPE ARCHITECT OF RECORD  
DEREK MCCALL  
OKLAHOMA EXP. 8/30/2021



ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH THE CITY OF OKLAHOMA CITY DEVELOPER AND PLANNING DEPARTMENT (CDD) ORDINANCE 11-2010

### City of Oklahoma City, Oklahoma Oklahoma City Capitol Medical Center Code SubChapter 17

Description of Property:  
Lot Size= 44,268 sq ft (1.06 ac)  
Developed Area= 44,268 sq ft  
Building Footprint= 4,620 sq ft  
Required Parking Spaces= 27  
Proposed Parking Spaces= 35

#### 120-10-17-3 General Requirements

- (b) Surface parking lots shall have a minimum landscaped area equal to at least 15 percent of the grass paved area within the lot.

#### 120-10-17-6 Landscape Areas

- (a) A minimum of 1 tree per 5 parking spaces shall be required for interior lot landscaped areas. Any interior lot areas shall have a minimum of 4 feet in length and 4 feet in width with a minimum area of 150 square feet.
- (c) Newly planted trees shall:
  - measure a minimum of 2.5 inches in caliper at a height 4 inches above ground level;
  - measure a minimum of 5 feet in height;
  - have a 3/8 inch minimum mature height; and,
  - must be drought tolerant.
- (d) Front yard buffer (Appendix D.1, A). All parking areas abutting a public right-of-way or future street shall provide a front yard buffer of at least 10 feet deep from the sidewalk, consisting of shrubbery, hedges, trees, decorative walls or fences, which create a visual screen of at least three feet high, does not apply to transit, alleyways, or alleys.
- (g) Internal landscaped island (Appendix D.1, D). Internal parking rows should provide landscaped islands at either end of the rows. The islands shall be equal in length to the rows and at least one foot wide, or of equivalent size if an irregular shape is necessary. Islands shall include at least two trees with shrubs, flowers, grass or other plantings so that more than 50% of the ground cover is mulch or grass.

#### 120-10-17-4 Landscaping in the public right-of-way

- (1) Where parking lots are adjacent to sidewalks in the public right-of-way, continuous landscape buffer strips will be constructed except at points of access and ingress into the facility. The landscape buffer strip shall be a minimum of 6 feet in width and shall contain, in addition to ground cover, trees and shrubs planted along the entire length.
- (2) All plantings must be drought tolerant and comply, in as much as possible, with the height, width and caliper requirements of this regulation.

#### 120-10-17-7 Pavement screening

- (a) All sides of a parking lot or vehicle use area adjoining residentially zoned or used property shall be enclosed with an opaque screen. All screening must be a minimum of 5 feet and no more than 6 feet.

#### 120-10-17-9 Maintenance Requirements

- (a) All landscaped areas shall be kept in good condition year round and shall be maintained in accordance with the approved landscape plan. A tree or plant material that dies or is damaged shall be replaced within 4 months so as to meet all requirements of this section and to allow for planting in the appropriate planting season.
- (b) All shrubs and trees shall be kept trimmed and pruned in accordance with horticultural standards. Ground cover shall be protected to protect tree roots and to prevent erosion.
- (c) Steps shall be taken to control weeds, grasses, and rodents.
- (d) Landscaped areas shall be kept free of litter and debris.
- (e) All trees, shrubs, and ground cover shall be maintained in a manner that will not affect vehicular or pedestrian movement or the operation and maintenance of existing apparatuses, devices, or systems.
- (f) All fences and walls shall be kept in good repair. Any fence or wall that is damaged, destroyed or becomes discolored shall be immediately repaired or replaced in accordance with the approved landscape plan.
- (g) Whenever the conditions of this section are not met, the property owner will be notified in writing and given the required time period to comply with the approved landscape plan. If compliance is not met within the required time period, the owner shall be in violation of this subchapter.

#### IRRIGATION:

An automatic irrigation system with an equipped rain/freeze sensor must be provided for all required landscape areas.

#### INSTALLATION SCHEDULE:

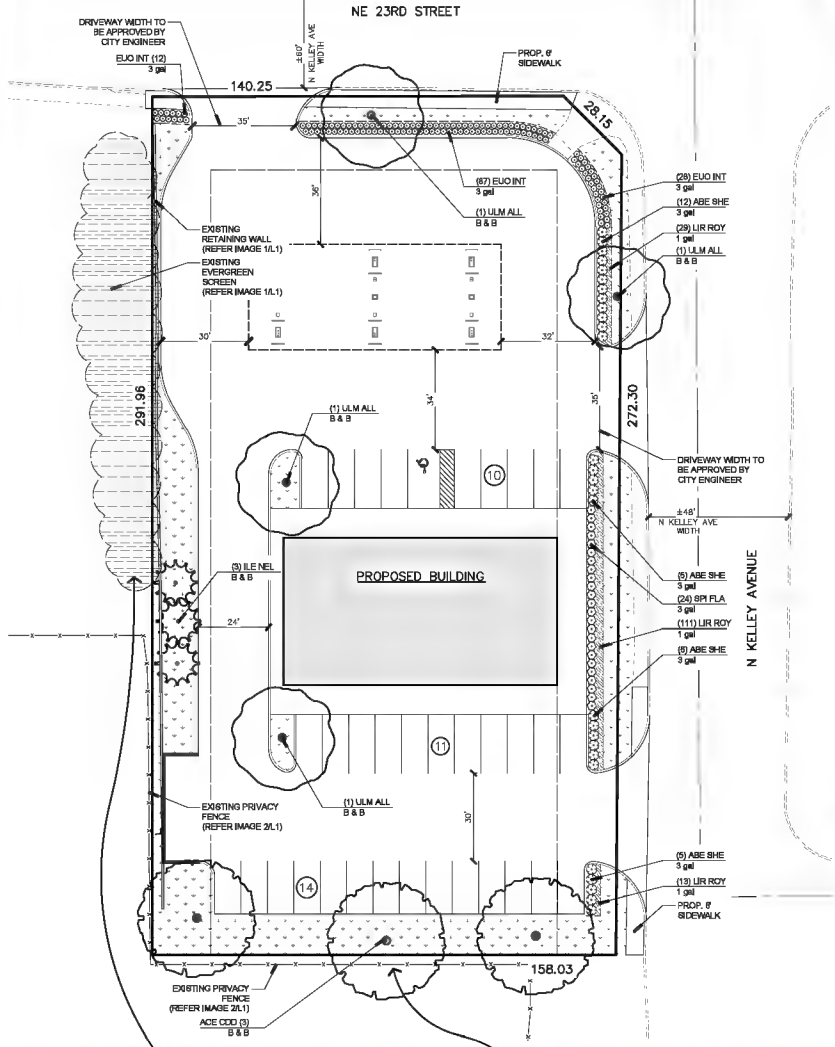
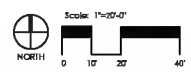
Required landscape and irrigation shall be installed tentatively in the summer of 2022.

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE
	ACE CDD	3	Acer saccharum 'Caddo' / Caddo Sugar Maple	B & B	2.5" cal, 6' ht. min.
	LIE NEL	3	Ilex x 'Nella R. Stevens' / Nella R. Stevens Holly (Tree-Form)	B & B	2" cal, 6' ht. min.
	ULM ALL	4	Ulmus parviflora 'Alicia' TM / Alicia Lacebark Elm	B & B	2.5" cal, 6' ht. min.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING
	ABE SHE	28	Abutilon x grandiflora 'Shirwood' / Shirwood Glossy Abutilon	3 gal	42" o.c.
	EJO INT	127	Euroyuncus fortunei 'Intrepidus' TM / Mintarocarpus	3 gal	24" o.c.
	SPI FLA	24	Spiraea japonica 'Nipon Flash' / Nipon Flash Japanese Spiraea	3 gal	36" o.c.
SPERMATOPHYTES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING
	CYN DAC	8,885 of	Cynodon dactylon / Bermuda Grass	soil	n/a
	LIR ROY	153	Liriodendron 'Royal Purple' / Royal Purple Liriodendron	1 gal	18" o.c.

\*Plant & material quantities are provided to help bidding. Contractor responsible for verifying exact quantities contacting on bid.

REFER TO SHEET LS FOR PLANTING NOTES



1 EXISTING CONDITIONS IMAGE



2 EXISTING CONDITIONS IMAGE

7-ELEVEN  
950 NE 23rd STREET  
Oklahoma City, Oklahoma 73105

I, Derek McCall, Registered Landscape Architect # 386  
Certify that the Plan Shown Meets the Oklahoma  
Capitol-Medical Center Improvement and Zoning  
Commission Administrative Rules (Effective August 1, 2018)  
Chapter 17 Off-Street Parking Facilities Landscape Code.

Signature:

Date: 03/17/21

PROJECT: 21050

DATE: 03/17/2021

PLAN SCALE: (D) 1"=20'-0"

(S) N/A

LANDSCAPE PLAN

L1

P:\2021\21050 LANDSCAPE\CAD\5-DRAWING\21050-LS-1.dwg, 11, 3/17/2021, 9:25:33 AM, S:\BROWNS, E., TANNER CONSULTING, LLC, INC. CA 2846, DWG, 6/30/2021



**State of Oklahoma  
Capitol-Medical Center Improvement  
and Zoning Commission**

**Application for Variance**

P.O. Box 53448  
Oklahoma City, OK 73152-3448  
Phone: 405-522-0440 Fax: 405-522-3861

<http://omes.ok.gov/boards-commissions/capitol-medical-center-improvement-and-zoning-commission>

**PROPERTY INFORMATION (TO BE COMPLETED BY APPLICANT)**

Read Rules: OAC 120:10-10-15

I (we), the undersigned owners of the following described property, respectfully make application to the Capitol-Medical Center Improvement and Zoning Commission for a variance from the zoning rules as requested. In support of the application, the following facts are shown:

**Nature of Request**

Variance: Chapter: 10 Section: see attached


**Location of Property (Address) and Legal Description:**

<u>950 NE 23rd Sst</u>	<u>Yukon, OK</u>	<u>73105</u>
Address	City	Zip Code
<u>State Capitol</u>	<u>1</u>	<u>1-12 less &amp; except</u>
Addition	Block	Lot(s)

Legal Description (Unplatted Land Only): \_\_\_\_\_

With regard to the property described above, what conditions are peculiar to this location that would warrant the granting of a variance?

please see attached letter describing variance requests

Applicant Signature (owner/agent): 		
<u>1800 S Sara Rd</u>	<u>Yukon, OK</u>	<u>73099</u>
Street Address	City	ZIP Code
<u>405-265-0641</u>	<u>mark.grubbs@gc-okc.com</u>	
Phone number	Email	

Representative (if applicable):	<u>Mark Grubbs</u>
Phone Number	Email



March 16, 2021

State of Oklahoma  
Capitol-Medical Center  
Improvement & Zoning Commission  
P. O. Box 53448  
Oklahoma City, OK 73152-3448

RE: Proposed new 7-Eleven Store at 950 NE 23<sup>rd</sup> Street

To Whom It May Concern,

Grubbs Consulting, LLC is the consulting engineer and representative for a new 7-Eleven Store at 950 NE 23<sup>rd</sup> Street in Oklahoma City. The subject property is located at the southwest corner of Kelley Avenue and NE 23<sup>rd</sup> Street and is located within an overlay zoning district under the jurisdiction of the State of Oklahoma Capitol-Medical Center Improvement and Zoning Commission. The underlying zoning for this particular site is zoned CN, Neighborhood Commercial.

It is our clients intent to demolish the existing fuel islands, canopy and retail building and replace all with a new building, fuel islands, canopy and parking, which will also include replacement of the existing driveways along NE 23<sup>rd</sup> Street and Kelley Avenue. The existing pylon sign will remain and be remodeled to accommodate uses on the property.

After numerous discussions with the CMZ staff relating to development of the site, it was determined that three applications would be necessary for approval: Building Permit, Sign Permit and Variance Request.

The Variance Application is being submitted because during coordinated review of the project by CMZ staff and our development team, concern was raised in regard to a few items relating to the proposed use on the property; those being outdoor propane sales/outdoor packaged ice sales, the amount of parking required for the proposed use, and the width of the proposed new driveways. We have also been made aware of a possible issue relating to parking within the setback areas (Section 120: 10-3-24(e) Area Regulations for Rear Yard). This letter is being submitted in order to provide an explanation of the development and justification for approval of the following variances to the CMZ Zoning Regulations.

- a) Outdoor propane/package ice sales: The propane sales would simply consist of a secure area where small propane bottles will be available for consumers. No more than two refrigerated containers for packaged ice are proposed. The secured propane sales area and the containers will be located on the sidewalk adjacent to the building.
- b) The CMZ Zoning Regulations do not have a specific parking formula for Convenience Stores; therefore, parking for a convenience store is calculated at one space for every 100 feet (retail sales). Section 120: 10-7-11(a) of the Zoning Regulations state that for any use not covered, the Commission will determine the space requirement based on the parking demand created by the proposed use. Since a convenience store is an establishment which is primarily involved in the provision of frequently needed, day to day goods and services, the use is only intended to serve a limited local market and to be generally within a short walking or driving distance of a residential area, which limits the need for excessive parking spaces. A formula more suited to a convenience store would be one space for every 200 square feet of floor area. This parking ratio for the proposed use is consistent with the requirements of the City of Oklahoma City and multiple surrounding municipalities.
- c) A driveway width of 35 feet is being requested for the driveway on NE 23<sup>rd</sup> Street and the north driveway along Kelley Avenue. This width would permit safe turning for delivery trucks and the semi-trucks delivering fuel.
- d) The code is not clear as to whether parking is permitted in yard areas {Section 10-7-10(8)}; therefore, it is being requested that the proposed design of the parking areas and dumpster be allowed, which show parking spaces within the rear yard setback and the dumpster along the side yard setback to the west. The adjacent areas are zoned residential; however, they are not being used for residential purposes.

It is respectfully requested that the above variances be permitted, primarily due to the fact that the use on the property is not changing. Rather, ownership of the property is changing which necessitates changes in design.

Respectfully submitted,



Mark Grubbs, PE  
Grubbs Consulting, LLC

cc: Creighton Companies LLC

QUIT CLAIM DEED  
INDIVIDUAL FORM

BOOK 6973 PAGE 0566

THIS INDENTURE, made this 28th day of October, 1996, between The Board Of County Commissioners of the first part, and Ester Thompson, Eric Thompson and Joan Thompson of the second part.

Witnesseth, that said parties of the first part, for due consideration, receipt and sufficiency of which are hereby acknowledged, does hereby quit claim, grant, bargain, sell and convey into the said party of the second part, the following described property situate in Oklahoma County, State of Oklahoma, to wit:

LOTS 1 THRU 12 & E 1/2 OF CULBERTSON DR NOW VACATED ADJ ON W EXCEPT A TRI TR OUT OF LOT 1 BEING 20FT ON N & 20FT ON E, BLK 1, STATE CAPITOL AMEND

together with all and singular the hereditaments and appurtenances thereunto belonging.

To Have and to Hold the above described premises unto the said party of the second part their successors and assigns forever, so that neither they, the said parties of the first part nor any person in their name and behalf, shall or will hereafter claim or demand any right or title to the said premises or any part thereof; but they and everyone of them shall by these presents be excluded and forever barred.

In Witness Whereof, the said parties of the first part have hereunto set their hand the day and year above written.

BOARD OF COUNTY COMMISSIONERS  
OF OKLAHOMA COUNTY

*Stuart Earnest Sr.*  
CHAIRMAN

*Shirley Darrell*  
MEMBER

*F. G. Buchanan*  
MEMBER

DOC NUMBER 96153372  
BOOK 6973  
PAGES 566 - 566  
TIME 12:26:15  
FEE 8.00  
11/05/1996  
Carolynn Candill  
Oklahoma County Clerk  
RECORDED AND FILED



NAME EIR Properties  
ADDRESS 1133 N.E 59th  
CITY & STATE Oklahoma OK 73111

STATE OF OKLAHOMA )  
                          ) SS: INDIVIDUAL ACKNOWLEDGMENT  
COUNTY OF OKLAHOMA ) OKLAHOMA FORM

Before me, the undersigned, a Notary Public in and for said County and State on this 28th day of October, 1996, personally appeared Stuart Earnest, Chairman, Shirley Darrell, Member and F. G. "Buck" Buchanan, Member, Oklahoma County Board of County Commissioners, to me known to be the identical persons who executed the within and foregoing instrument and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

My commission expires: 3-7-98

Notary Public



EXEMPTION: DOCUMENTARY STAMP TAX O.S. TITLE 68, ARTICLE 72, SECTION 3201 PAR 12

UNRECORDED

48.00

1/8







**Larry Stein**  
County Assessor

## Oklahoma County Assessor's Public Access System

320 Robert S. Kerr #313  
Oklahoma City, Ok 73102  
(405) 713-1200



Oklahoma  
Conservation  
Commission

**All records are current as of close of previous working day.**

**Larry Stein-Oklahoma County Assessor Public Access System**

Home Contact Us Guest Book Map Search New Search

Real Property Display - Screen Produced 4/5/2021 10:46:43 AM

Account: <b>R034350250</b>	Type: <b>Commercial</b>	Location: <b>950 NE 23RD ST</b>
Building Name/Occupant: <b>CAPITAL SQUARE STATION/ CONOCO/ SUBWAY</b>	Map Parcel	<b>OKLAHOMA CITY</b>
Owner Name 1: <b>THOMPSON ESTER TRS &amp; TRUST</b>	1/4 section #: <b>2705</b>	
Owner Name 2: <b>THOMPSON ERIC</b>	Parent Acct:	
Billing Address 1: <b>1133 NE 59TH ST</b>	Tax District: <b>TXD 200TF9D</b>	
Billing Address 2:	School System: <b>Oklahoma City #89</b>	
City, State, Zip: <b>OKLAHOMA CITY, OK 73111-7401</b>	Land Size: <b>32,470.00 Square Feet</b>	
Country: (If noted)	Lot Dimensions: <b>Width Depth</b>	
Personal Property	Land Value: <b>211,042</b>	Treasurer: <b>Click to View Taxes</b>
Sect 27-T12N-R3W Qtr NE	<a href="#">STATE CAPITOL AMEND Block 001 Lot 000</a>	Subdivision Sales

**Full Legal Description:** STATE CAPITOL AMEND 001 000 LOTS 1 THRU 12 & E 1/2 OF CULBERTSON DR NOW VACATED ADJ ON W EXCEPT A TRI TR OUT OF LOT 1 BEING 20FT ON N & 20FT ON E

Photo & Sketch (if available) Comp Sales Address/Date/Price (ordered by relevancy) Report Coming Soon



No comparable sales returned.

Value History (\*The County Treasurer 405-713-1300 posts & collects actual tax amounts. Contact information [HERE](#))

Year	Market Value	Taxable Mkt Value	Gross Assessed	Exemption	Net Assessed	Millage	Tax	Tax Savings
2021	1,082,748	1,046,140	115,074	0	115,074	119.08	13,703.18	479.52
2020	1,115,427	996,324	109,595	0	109,595	119.08	13,050.65	1,560.11
2019	1,115,427	948,880	104,376	0	104,376	119.00	12,420.84	2,180.10
2018	924,755	903,696	99,407	0	99,407	113.44	11,276.68	262.78
2017	924,755	860,663	94,672	0	94,672	113.35	10,731.18	799.13

[1/5]

Property Assessed Value/Exemption/Excess

Account #	Grant Year	Exemption Description	Amount
R034350250	1999	5% Capped Account	0

Property Deed Transaction History (Recorded in the County Clerk's Office)

Date	Type	Book	Page	Price	Grantor	Grantee
12/20/2006	Deeds	10339	941	0	THOMPSON ESTER THOMPSON ERIC	THOMPSON ESTER TRS & TRUST
11/5/1996	Historical	6973	566	0	OKLAHOMA COUNTY	THOMPSON ESTER
7/10/1995	Historical	6765	271	0	WARREN CYNTHIA RENEE	OKLAHOMA COUNTY
11/11/1911	Historical	0004	0000	0		CAPITOL CAR CARE

Last Market Value of Value (M.O.V.) Information/History

Year	Date	Market Value	Taxable Market Value	Gross Assessed	Exemption	Net Assessed
2021	03/22/2021	1,082,748	1,046,140	115,075	0	115,075
2020	03/16/2020	1,115,427	996,324	109,595	0	109,595
2019	04/05/2019	1,115,427	948,881	104,376	0	104,376
2018	04/18/2018	924,755	903,696	99,407	0	99,407
2017	03/20/2017	924,755	860,663	94,672		

[1/3]

Property Building Permit History

Issued	Permit #	Provided by	Bldg #	Description	Est Construction Cost	Status
3/7/2001	10189134	OKLAHOMA CITY	1	Other	20,000	Inactive
5/7/1999	10189135	OKLAHOMA CITY	1	Demolish	7,000	Inactive
10/17/1991	10189131	OKLAHOMA CITY	1	Demolish	2,500	Inactive

Click button of building number to access detailed information

Bldg #	Vacant/Improved Land	Bldg Description	Year Built	SqFt	# Stories	
Click	1	Improved	Convenience Store	2001	4,081	1 Stories



**Larry Stein**  
County Assessor

## Oklahoma County Assessor's Public Access System

320 Robert S. Kerr #313  
Oklahoma City, Ok 73102  
(405) 713-1200

**All records are current as of close of previous working day.**



Oklahoma  
Conservation  
Commission

**Larry Stein-Oklahoma County Assessor Public Access System**

Home	Contact Us	Guest Book	Map Search	New Search
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Building Detail Results - Screen Produced 4/5/2021 10:49:22 AM

Account #:	<b>R034350250</b>
Building #:	<b>1</b>
Built As:	Convenience Store
# of Stories:	1 Stories
Square Feet:	4,081
Year Built:	2001
Remodel Year:	
Building Name:	CAPITAL SQUARE STATION/ CONOCO/ SUBWAY
Alt Land Use Desc:	Commercial
Quality Desc:	Very Good
Bldg Frame Description:	Masonry
Foundation Desc:	
Bldg Exterior:	
Roof Type:	Flat
Roof Cover:	Built Up Rock
Avg Floor Height:	14
Percent Sprinkled:	0
Bldg Interior:	
Total Rooms:	
# of Units w/Bedrooms:	# of units ( ) with Bedrooms
# of Baths:	(0)-Full, (0)-3/4, (0)-half
HVAC Type:	Package Unit
# of Fire Places:	0
Percent Heated:	100
Physical Condition:	Good
# of Res Units:	0
# of Comm Units:	1
Commercial Desc:	
Occ Type:	
Commercial Class:	
MFG Home Length:	0
MFG Home Width:	0

Bldg #1  
Sketch



**Photos**

- 2018
- 2016
- 2014
- 2012
- 2010
- 2008
- 2006
- 2004
- 2003

Garage, Porch, Basement, Storage, Utility etc. (GLA=Gross Living Area GBA=Gross Bldg Area)

Account #	Feature	Description	Sqft/Area	Number of Stories
<b>R034350250</b>	GBA	GBA	4,081	1

**Additional Details**

Account #:	Bldg #	Description	Qty	# Of Units	Description
<b>R034350250</b>	<b>1</b>	Canopy - Gas Station Steel	1	2,592	Square Feet
<b>R034350250</b>	<b>1</b>	Canopy Walkway Finished	1	264	Square Feet
<b>R034350250</b>	<b>1</b>	Diesel Dispenser	1	1	Units
<b>R034350250</b>	<b>1</b>	Dumpster Enclosure	1	1	Units
<b>R034350250</b>	<b>1</b>	Gas Pump 2 Side	1	4	Units
<b>R034350250</b>	<b>1</b>	Retaining Wall Conc 1'-2' high	1	250	Linear Feet
<b>R034350250</b>	<b>1</b>	Yard Paving Concrete	1	33,072	Square Feet
<b>R034350250</b>	<b>1</b>	Yard Paving Concrete	1	-4,429	Square Feet

**AGREEMENT FOR GOVERNMENTAL SERVICES  
BY AND BETWEEN THE CITY OF OKLAHOMA CITY  
AND THE CAPITOL-MEDICAL CENTER IMPROVEMENT  
AND ZONING COMMISSION**

**THIS AGREEMENT** is entered into between the City of Oklahoma City, Oklahoma a municipal corporation (“The City”), and The Capitol-Medical Center Improvement and Zoning Commission (“Commission”), a state agency, pursuant to Title 73, Section 83.3(B) of the Oklahoma Statutes to provide for mutual cooperation and joint regulation within the Capitol-Medical Center Improvement and Zoning District (“District”) with respect to zoning regulation enforcement.

1. **PURPOSE.** It is the purpose of this Agreement that The City provide enforcement of the Zoning Code adopted by the Commission and inspect to ensure compliance therewith, within the District.
2. **TERM.** This Agreement shall become effective July 1, 2021 and continue through June 30, 2022; provided however, that said Agreement may be extended into subsequent years by mutual agreement between The City and the Commission.
3. **TERMINATION.** This Agreement may be terminated by any party hereto upon thirty (30) days’ written notice to the other party.
4. **PROPERTY.** It is anticipated that no property will be acquired pursuant to this Agreement. However, if property is acquired, title thereto will remain in the name of the entity paying for the same. Upon termination of this Agreement, said purchased property shall be returned to the purchasing entity.
5. **ADMINISTRATIVE BOARD.** It is not anticipated that an administrator will be necessary for this Agreement. Any further decisions relating to this Agreement shall be made by a Joint Board comprised of the Oklahoma City Manager or designee and the Chair of the Commission.
6. **AUTHORIZATION OF CITY INSPECTORS.** Code inspectors of The City are hereby authorized to inspect properties within the District for compliance with the District’s zoning regulations, Oklahoma City Municipal Code violations, and to issue citations to property owners found to be in violation thereof, and to contract for nuisance abatement, when determined to be appropriate. “The District” as described herein shall mean the area of Oklahoma City which has its boundaries as set forth on the diagram attached hereto and labeled District Boundary Map.
7. **VIOLATIONS-PENALTY-PROSECUTION.**
  - a. Citations for violations of any of the zoning regulations promulgated by the Commission shall be filed with the Municipal Court of The City, which Court shall have exclusive jurisdiction.
  - b. Pursuant to Title 73, Section 83.14(A) of the Oklahoma Statutes and Chapter 59, Section 7400.4 of the Oklahoma City Municipal Code, 2020, as amended, any person found guilty by the Court of violating said zoning regulations shall be punished by a fine not to exceed Seventy-five Dollars (\$75.00), inclusive of costs. Each violation

shall be a separate and distinct offense, and each violation shall constitute a separate offense subject to the application of the full penalty.

For any fine imposed pursuant to a violation of Chapter 59, Section 7400.4 of the Oklahoma City Municipal Code, 2010, in such cases, The City shall receive One Dollar (\$1.00) as cost, plus one-half (1/2) of the fine imposed. The remaining one-half (1/2) of the fine imposed shall be paid to the State Treasurer, in accordance with Title 73, Section 83.14 (A) of the Oklahoma Statutes.

8. **RESPONSIBILITY FOR PAY AND BENEFITS.** The City in all cases shall remain liable for the salaries, insurance, and other employee benefits of The City's inspectors who provide enforcement services pursuant to this Agreement. The Office of Management and Enterprise Services ("OMES") shall pay to The City, on behalf of the Commission, the sum of \$12,000, payable monthly in equal installments for the term of this Agreement, to help defray the expenses of performing inspections and issuing citations in the District.
9. **AUDIT CLAUSE.** All documents, items, or other data, regardless of form, relating to this contract are subject to examination by the Commission and the Oklahoma State Auditor and Inspector. All information relevant to this contract shall be retained by the parties for the duration of the contract term, and for a period of three years following completion and/or termination of the Agreement, or for longer period as required by The City document retention policies.
10. **REPORTING/INVOICE.** The City shall provide a monthly report to the Commission reflecting inspections conducted and citations issued. The report shall be attached to the monthly invoice for review and approval prior to the payment of any fees. Said monthly reports and invoices shall be submitted to the Capitol-Medical Center Improvement and Zoning Commission, Administrative Officer, 2401 N. Lincoln Boulevard, Suite 126, Oklahoma City, OK 73105.
11. **EFFECTIVE DATE.** This Agreement shall be effective when signed by all the parties hereto.

IN WITNESS WHEREFORE, the parties hereto have signed this Agreement as herein set forth this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**THE CITY OF OKLAHOMA CITY**

By:

\_\_\_\_\_  
David Holt, Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

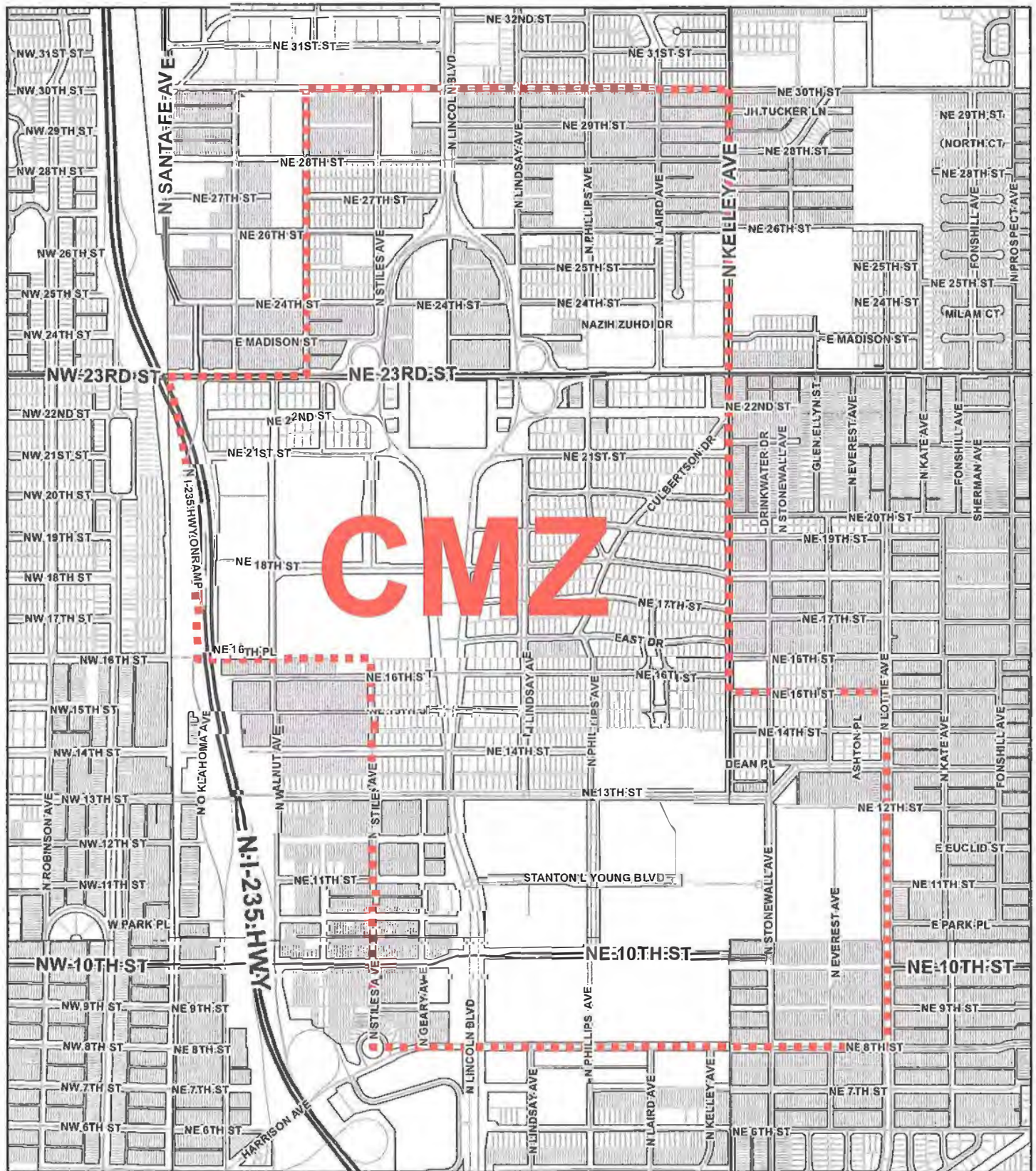
**REVIEWED** for form and legality.

---

Assistant Municipal Counselor

**CAPITOL-MEDICAL CENTER  
IMPROVEMENT AND ZONING  
COMMISSION**

By: \_\_\_\_\_  
Dan Ross, Chair



District Boundary Map

